

**MOORE COUNTY PLANNING BOARD
THURSDAY, JULY 7, 2022, 6:00 PM
MOORE COUNTY HISTORIC COURTHOUSE – 2nd FLOOR**

CALL TO ORDER – 6 PM

INVOCATION – (Member Volunteer)

PLEDGE OF ALLEGIANCE – (Member Volunteer)

MISSION STATEMENT – (Member Volunteer)

I. PUBLIC COMMENT PERIOD (*Procedures are attached*)
Please sign up on the Public Comment Sign In sheet near the door

I. APPROVAL OF CONSENT AGENDA
All items listed below are considered routine and will be enacted by one motion. No separate discussion will be held except by a member of the Planning Board:

- A. Approval of Meeting Agenda
- B. Approval of Minutes of May 5, 2022
- C. Consideration of Abstentions

II. ELECTION OF VICE-CHAIR

III. PUBLIC HEARINGS-WATERSHED REVIEW BOARD

- 1. **Town of Aberdeen Request 30 Acres of Watershed Allocation/Watershed Transfer Resolution – Debra Ensminger**

IV. PUBLIC HEARINGS

- 1. **Conditional Rezoning Request: Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA/CZ)– NC 22 Hwy – Jaimie Walters**
- 2. **Conditional Rezoning Request: Residential and Agricultural (RA-40) & Highway Commercial (B-2) to Highway Commercial Conditional Zoning (B-2/CZ) – US 15/501 Highway – Jaimie Walters**

V. PLANNING DEPARTMENT REPORTS - Debra Ensminger

VI. BOARD COMMENT PERIOD - Chairman

VII. UPCOMING EVENTS

- Tuesday, July 19, 2022, 5:30 PM Board of Commissioners Meeting to be held at the Historic Courthouse in Carthage
- Tuesday, August 2, 2022, 10:30 AM Board of Commissioners Meeting to be held at the Historic Courthouse in Carthage

- **Thursday, August 4, 2022, 6:00 PM Planning Board Meeting to be held at the Historic Courthouse in Carthage**

VIII. ADJOURNMENT

*Special accommodations for individuals with disabilities or impairments will be made upon request to the extent that reasonable notice is **given** to the County.*

Please see attached procedures for the Public Comment Period and public comment during Public Hearing

**PUBLIC COMMENT PROCEDURES
MOORE COUNTY PLANNING BOARD**

The Moore County Planning Board is committed to allowing members of the public an opportunity to offer comments and suggestions for the efficient and effective administration of government. In addition to public hearings, a special time is set aside for the purpose of receiving such comments and suggestions. All comments and suggestions addressed to the Board during the Public Comment Period shall be subject to the following procedures:

- 1. The Public Comment period will be held at the beginning of the Board meeting. The comment period will be limited to a maximum of thirty minutes*
- 2. Persons who wish to address the Board during the Public Comment Period will register on a sign-up sheet available on the table outside the entrance door to the Meeting Room indicating contact information and topic. Sign-up sheets will be available beginning 30 minutes before the start of the meeting. No one will be allowed to have his/her name placed on the list by telephone request to County Staff.*
- 3. Each person signed up to speak will have three (3) minutes to make his/her remarks. Each person signed up to speak will only be entitled to the time allotted to each speaker and one additional time period which may be yielded to him/her by another individual who has also signed up to speak on a particular topic.*
- 4. Speakers will be acknowledged by the Board Chairperson in the order in which their names appear on the sign-up sheet. Speakers will address the Board from the lectern at the front of the room and begin their remarks by stating their name and address.*
- 5. Public comment is not intended to require the Board to answer any impromptu questions. Speakers will address all comments to the Board as a whole and not one individual member. Discussions between speakers and members of the audience will not be allowed.*
- 6. Speakers will be courteous in their language and presentation. Matters or comments which are harmful, discriminatory or embarrassing to any citizens, official or employee of Moore County shall not be allowed. Speaker must be respectful and courteous in their remarks and must refrain from personal attacks and the use of profanity.*
- 7. Only one speaker will be acknowledged at a time. If the time period runs out before all persons who have signed up get to speak, those names will be carried over to the next Public Comment Period.*
- 8. Any applause will be held until the end of the Public Comment Period.*
- 9. Speakers who have prepared written remarks or supporting documents are encouraged to leave a copy of such remarks and documents with the Chairperson.*
- 10. Information sheets outlining the process for the public's participation in Board meetings will also be available in the rear of the Meeting Room.*
- 11. Action on items brought up during the Public Comment Period will be at the discretion of the Board.*

Adopted on the 4th day of February, 2010 by a 8 to 1 vote of the Moore County Planning Board.

MOORE COUNTY PLANNING BOARD PUBLIC HEARINGS PROCEDURES

The Moore County Planning Board serves the public as well as the Board of Commissioners. During each public hearing a special time has been set aside for the purpose of receiving comments and suggestions. To insure that comments and suggestions are productive and not unnecessarily long, procedural rules for conducting public hearings are necessary. The following procedural rules will be utilized during public hearings of the Moore County Planning Board:

- 1. Anyone who would like to address the Board during a public hearing should register on the appropriate sign-up sheet indicating their name and address. Sign-up sheets will be available on the table outside the entrance door to the Meeting Room 30 minutes before the start of the meeting. Information sheets outlining the process for the public's participation in Board meetings and public hearings will also be available. No one will be allowed to have his/her name placed on the list by telephone request to County Staff.*
- 2. Each speaker will be called by the Chairman to the lectern, will state their name and address clearly into the record before providing their comments.*
- 3. Speakers will address all comments to the Board as a whole and not to any one individual member. Speakers will be respectful, courteous, refrain from personal attacks and the use of profanity.*
- 4. Any applause will be held until the end of the public hearing.*
- 5. Speakers who have prepared written remarks or supporting documents are encouraged to leave a copy of such remarks and documents with the Secretary.*
- 6. Action on items brought up during the public hearing will be at the discretion of the Board.*

Adopted on the 5th day of May, 2011 by a 9 to 0 vote of the Moore County Planning Board

**MINUTES
MOORE COUNTY PLANNING BOARD
THURSDAY, MAY 5, 2022, 6:00 PM
MOORE COUNTY HISTORIC COURTHOUSE – 2nd FLOOR**

Board Members Present:

Bobby Hyman (Vice chair), Farrah Newman, Tucker McKenzie, John McLaughlin

Board Members Absent:

Joe Garrison (Chairman), Jeffrey Gilbert, Amy Lynn

Staff Present:

Debra Ensminger, Planning Director; Stephanie Cormack, Admin Officer; Jaimie Walters, Senior Planner; Tron Ross, Associate County Attorney

CALL TO ORDER

Vice chair Bobby Hyman called the meeting to order at 6:00 pm.

INVOCATION

Vice chair Bobby Hyman offered the invocation.

PLEDGE OF ALLEGIANCE

Board Member Farrah Newman led in citing of the Pledge of Allegiance.

MISSION STATEMENT

Board Member Tucker McKenzie read the Moore County Mission Statement.

PUBLIC COMMENT PERIOD

There was no public comment.

APPROVAL OF THE CONSENT AGENDA

- A. Approval of Meeting Agenda
- B. Approval of Minutes of April 7, 2022
- C. Consideration of Abstentions

Board Member Tucker McKenzie made a motion for approval of the meeting agenda. Board Member Farrah Newman seconded the motion and the motion passed unanimously 4-0.

Board Member Farrah Newman made a motion for approval of the minutes of April 7, 2022, meeting. Board Member Tucker McKenzie seconded the motion and the motion passed unanimously 4-0.

PUBLIC HEARING

Public Hearing #1 – General Use Rezoning Request: Highway Business (B-2) to Rural Agricultural (RA) NC 211 Highway. – Jaimie Walters

Senior Planner Jaimie Walters presented a request by Pete Mace requesting a General Use Rezoning from Highway Commercial (B-2) to Rural Agricultural (RA) of one parcel of approximately 5.74 acres located on NC 211 Highway, owned by Peter C. Mace and Joanne G. Mace, per Deed Book 5706 Page 540 and further described as ParID 00020759 in Moore County Tax Records.

Mrs. Walters went over the items within the packet regarding the request.

With no further questions from the board, Vice chair Hyman opened the Public Hearing.

The following have signed up to speak during the Public Hearing.

- Pete Mace, property owner asked if a minor subdivision could be created on the property

Staff member Jaimie Walter confirmed this could be possible.

With no further discussion or public comment Vice chair Hyman closed the Public Hearing.

With no further comments Board Member Tucker McKenzie made a motion to adopt and approve the attached Moore County Planning Board Land Use Plan Consistency Statement and authorize its chairman to execute the document as required by North Carolina General Statute 160D-604. The motion was seconded by Board Member Farrah Newman; the motion passed unanimously 4-0.

Board Member Tucker McKenzie made a motion to recommend approval to the Moore County Board of Commissioners of the General Use Rezoning from Highway Commercial (B-2) to Rural Agricultural (RA) of one parcel of approximately 5.74 acres located on NC 211 Highway, owned by Peter C. Mace and Joanne G. Mace, per deed Book 5706 Page 540 and further described as ParID 00020759 in the Moore County Tax Records; The motion was seconded by Board Member Farrah Newman; the motion passed unanimously 4-0.

PLANNING DEPARTMENT REPORTS

Ms. Ensminger informed the board that staff will attend a meeting with the School of Government on May 13th to review the 160D updates that have been incorporated into the Moore County Unified Development Ordinance. This meeting will provide guidance to Moore County to make sure the Unified Development Ordinance will meet the intent of the law prior to coming before the Planning Board for review.

BOARD COMMENT PERIOD

Vice chair Hyman thanked Moore County staff for all their hard work.

ADJOURNMENT

With no further comments Board Member John McLaughlin made a motion to adjourn the May 5, 2022, regular meeting. The motion was seconded by Board Member Farrah Newman; meeting adjourned at 6:30 p.m., the motion passed unanimously 4-0.

Respectfully submitted by,

Stephanie Cormack

**MEMORANDUM TO THE MOORE COUNTY PLANNING BOARD/WATERSHED REVIEW
BOARD**

FROM: Debra Enslinger
Planning Director

DATE: May 25, 2022

SUBJECT: Town of Aberdeen Request 30 Acres of Watershed Allocation /Watershed
Transfer Resolution

PRESENTER: Debra Enslinger

REQUEST:

The Town of Aberdeen is requesting a transfer of watershed allocation from Moore County's Drowning Creek Watershed Allocation.

BACKGROUND:

In 1993 Moore County adopted public water supply watershed regulations as required by the North Carolina Department of Environment and Natural Resources (NCDENR). These regulations apply within the area designated as a Public Water Supply Watershed by the North Carolina Environmental Management Commission. These regulations further protect the areas of the county where the surface water drains into an area used as a county or municipal water source by limiting the amount of impervious surface that can be developed on a parcel of land.

The County of Moore and the Town of Aberdeen have jurisdiction in the Drowning Creek Watershed, which is classified as a WS-II watershed by the North Carolina Environmental Commission.

The Town of Aberdeen has adopted a water supply watershed protection ordinance implementing the low-density option and 10/70 provision for WS-II water supply watersheds for its jurisdiction in the Drowning Creek Watershed.

The Drowning Creek Watershed was created as of June 21, 1993, with the County of Moore having 63,970 acres of land within its jurisdiction of said watershed. The 10/70 provision allows local governments to take a maximum of 10 percent of their jurisdiction in the watershed as of July 1, 1995 and allow new development at up to 70 percent built-upon area, outside of the critical watershed areas. The Division of Quality (DWQ) approved joint resolutions between Moore County and its eleven municipalities to transfer rights of 5/70 and 10/70 land area in five water supply watersheds. The affected watershed areas were Little River (Vass), Little River (Intake No.2), Bear Creek, Drowning Creek, and Nicks Creek. Each resolution involved acceptance by a municipality of specific amount of unused allocation formerly held by Moore County. Amounts for transfer were based on each local government's jurisdiction within a particular watershed as of 2012.

The Division of Water Quality (DWQ) approved in October 2021 joint resolutions between the Town of Aberdeen and Moore County, acceptance by Aberdeen of 530.01 acres of Moore County's allocation in the Drowning Creek WS-II-BW watershed.

The Town of Aberdeen anticipates it will soon exceed its allocation of 10/70 option acreage. Pursuant to the Water Supply Watershed Protection Rules (15A NCAC 2B.0200) developed by the North Carolina Environmental Management Commission, the County of Moore may transfer, in whole or in part, its rights to the watershed acreage to the Town of Aberdeen with the Drowning Creek Watershed.

The Unified Development Ordinance /section 15.9 Allocation Transfer Between Jurisdiction states, “Moore County, having jurisdiction within a designated water supply watershed may transfer, in whole or in part, its right to the 5/70 land area to one of the other local government jurisdictions located within Moore County within the same water supply watershed upon submittal of an approved joint resolution between the Moore County Board of Commissioners and the governing body of the municipality and approval by the NC Department of Environmental Quality.”

STAFF RECOMMENDATION:

Staff recommends the Planning Board provide an endorsement of the resolution to the Board of Commissioners that would transfer watershed allocation from the Drowning Creek to the Town of Aberdeen as requested.

SUPPORTING ATTACHMENTS:

Resolution Town of Aberdeen
Town of Aberdeen Watershed Allocation Table
Map of Area
Resolution Moore County
Moore County Allocation Table

A RESOLUTION TO ACCEPT TRANSFER RIGHTS FOR 10/70 LAND AREA IN THE DROWNING CREEK WATERSHED TO THE TOWN OF ABERDEEN, NORTH CAROLINA FROM COUNTY OF MOORE, NORTH CAROLINA.

THAT WHEREAS, the County of Moore and the Town of Aberdeen have jurisdiction in the Drowning Creek Watershed, which is classified as a WS-II watershed by the North Carolina Environmental Management Commission; and,

WHEREAS, the Town of Aberdeen has adopted a water supply watershed protection ordinance implementing the low-density option and 10/70 provision for WS-II water supply watersheds for its jurisdiction in the Drowning Creek Watershed: and,

WHEREAS, the Drowning Creek Watershed was created as of June 21, 1993, with the County of Moore having 63,970 acres of land within its jurisdiction of said watershed; and,

WHEREAS, the 10/70 provision allows local governments to take a maximum of 10 percent of their jurisdiction in the watershed as of July 1, 1995, and allow new development at up to 70 percent built-upon area, outside of the critical watershed areas, and,

WHEREAS, the Division of Water Quality (DWQ) approved in October of 2012 joint resolutions between Moore County and its eleven municipalities to transfer rights of 5/70 and 10/70 land area in five water supply watersheds. The affected watershed areas were Little River (Vass), Little River (Intake No.2), Bear Creek, Drowning Creek, and Nicks Creek. Each resolution involved the acceptance by a municipality of a specific amount of unused allocation formerly held by Moore County. Amounts for transfer were based on each local government's jurisdiction within a particular watershed as of 2012.; and

WHEREAS, the Drowning Creek Watershed after acceptance of transfer rights in October 2012 based on each local government's jurisdiction, Moore County had 46,754.03 acres of land within its jurisdiction of said watershed ; and

WHEREAS, the Division of Water Quality (DWQ) approved in October of 2012 joint resolutions between the Town of Aberdeen and Moore County, acceptance by Aberdeen of 530.01 acres of Moore County's allocation in the Drowning Creek WS-II-BW watershed.; and

WHEREAS, the Town of Aberdeen anticipates that it will soon exceed its allocation of 10/70 option acreage; and

WHEREAS, pursuant to the Water Supply Watershed Protection Rules (15A NCAC 2B.0200) developed by the North Carolina Environmental Management Commission, the County of Moore may transfer, in whole or in part, its rights to the watershed acreage to the Town of Aberdeen within the Drowning Creek Watershed; and

WHEREAS, the Moore County Unified Development Ordinance Section 15.9 Allocation Transfer Between Jurisdictions states, "Moore County, having jurisdiction within a designated water supply watershed may transfer, in whole or part, its right to the 5/70 land area to one of the other local government

jurisdictions located within Moore County within the same water supply watershed upon submittal of an approved joint resolution between Moore County Board of Commissioners and the governing body of the municipality and approval by the NC Department of Environmental Quality.”; and

WHEREAS, the Town of Aberdeen wishes to clarify allocation to the town and desires the ability for facilities and services which typically require larger amounts of built-upon area to locate in its portion of jurisdiction in the Drowning Creek Watershed; and

NOW, THEREFORE, BE IT RESOLVED the Board of Commissioners of the Town of Aberdeen, North Carolina, accepts the transfer of watershed allocation from the County of Moore to the Town of Aberdeen, North Carolina in the amount 300 +/- acres located in the Drowning Creek Watershed.

FURTHERMORE, following the transfer of the watershed allocation, by the adoption of this Resolution, the Town of Aberdeen will now have 107 acres within its jurisdiction with 30 acres of allocation available for 10/70 development, and the County of Moore will have a total of 46,627.63 acres within its jurisdiction with 2,292.3765 acres available for 5/70 development in the Drowning Creek Watershed.

Ayes: 5

Noes: 0

Absent or Excused: NA

Dated: 3/14/2022

Robert A. Farrell

Robert A. Farrell, Mayor

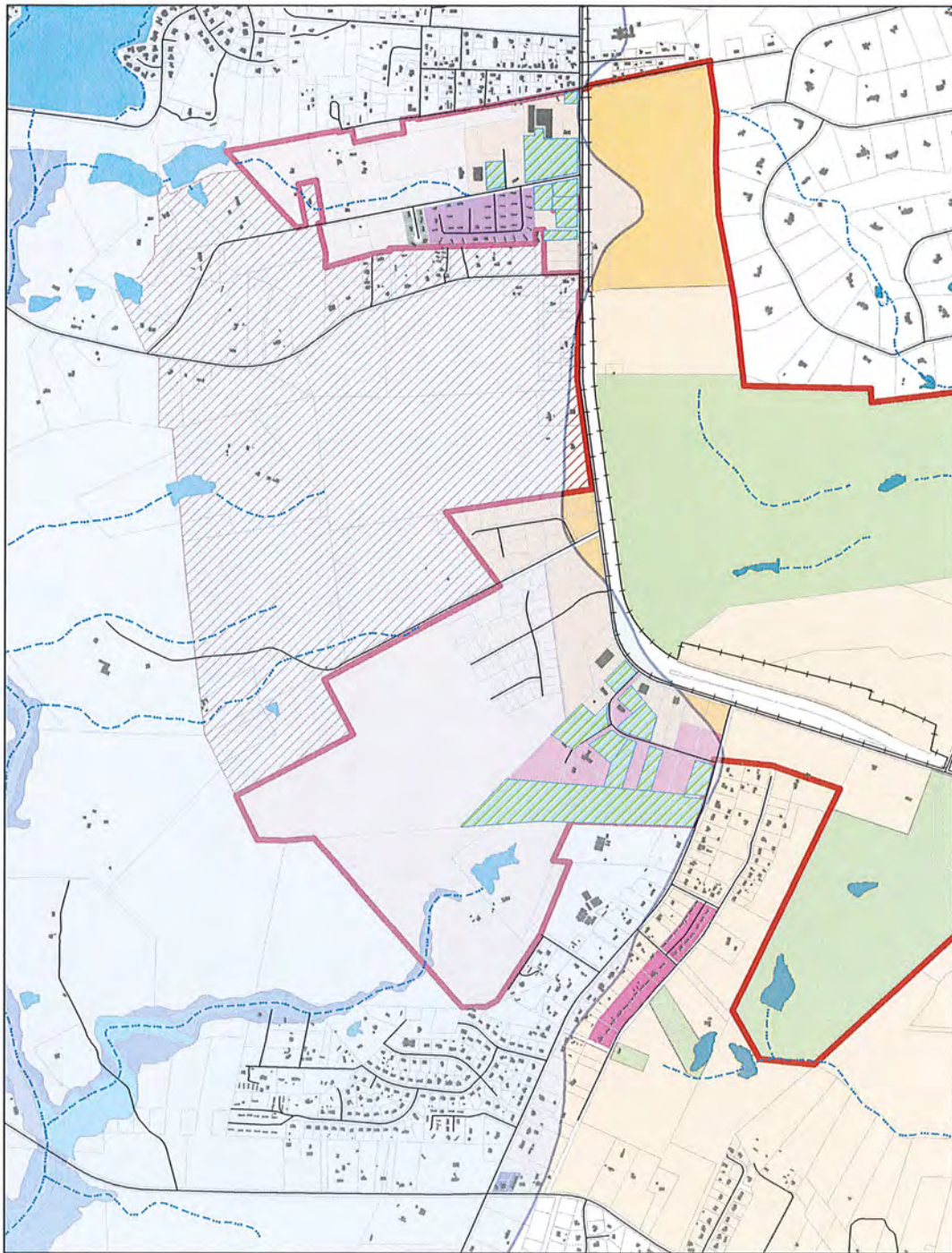
Attest:

Regina M. Rosy













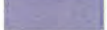
Regina Rosy, Town Clerk



Watershed Allocation								
Parcel ID#	Date	SNIA / SP #	GRANTED / EXPIRED	PROJECT			Acreage Awarded	Balance
				Lot #	Development	Developer/Project Name		
Total 10/70 Allocation (transferred in 2012)								53.00
20040064			Granted			Southeastern Consortium Properties Aberdeen, LLC	-1.01	51.99
20020329			Granted			Amicus Investments, LLC	-1.2	50.79
20000414			Granted			B2R2, LLC	-2.04	48.75
00047639			Granted			William J. Barnhardt	-1	47.75
00050048			Granted			Charles O. and Clara P. Peterson Trustees	-1.46	46.29
95000133			Granted			Cirillo Enterprises II, LLC	-0.45	45.84
00051524			Granted			James R. Kirkpatrick	-8.29	37.55
20000399			Granted			Air Specialties, Inc.	-2.13	35.42
20000400			Granted			Jerry H. & Gwen A. Gattis, Perry L. & Alison G. Johnson	-2.57	32.85
98000637			Granted			Air Specialties, Inc.	-2.3	30.55
00053776			Granted			Charles O. and Clara P. Peterson Trustees	-1.25	29.30
20000403 [1]	4/19/2007	SNIA-07-01	Granted	Lot 17	Sandy Mine Commercial Park	Winford Williams	-2.2	27.10
98000215	6/21/2007	SNIA-07-02	Granted	Lot 3	Silica Park	Winford Williams	-1.6	25.50
20000403 [2]		SNIA-07-01	Rescinded	Lot 17	Sandy Mine Commercial Park	Winford Williams	2.2	27.70
20000403	1/17/2008	SNIA-07-03	Granted	Lot 16 & 17	Sandy Mine Commercial Park	Gaddis Johnson	-4.21	23.49
98000215	6/21/2007	SNIA-07-02	Expired	Lot 3	Silica Park	Winford Williams	1.6	25.09
00050799 [3]	5/15/2014	SNIA-14-01	Granted			Crossway Church of Worship	-8	17.09
20000411	6/14/2016	SNIA-16-01	Granted	Lot 8	Sandy Mine Commercial Park	Gattis Construction	-1.98	15.11
20000409	6/14/2016	SNIA-16-02	Granted	Lot 10	Sandy Mine Commercial Park	Gattis Construction	-2.41	12.70
20000408	6/14/2016	SNIA-16-02	Granted	Lot 11	Sandy Mine Commercial Park	Gattis Construction	-2.04	10.66
20000413	8/18/2016	SNIA-16-03	Granted	Lot 6	Sandy Mine Commercial Park	Dawn Wallace	-2.01	8.65
20000407 [4]	9/15/2016	SNIA-16-04	Granted	Lot 12R	Sandy Mine Commercial Park	Jim McSwain/Pet Lodge of Pinehurst	-2.01	6.64
00050799 [5]	5/16/2015	SNIA-14-01	Expired			Crossway Church of Worship	8	14.64
00050799	12/15/2016	SNIA-16-05	Granted			Crossway Church of Worship	-8	6.64
20000411	6/15/2017	SNIA-16-01	Expired	Lot 8	Sandy Mine Commercial Park	Gattis Construction	1.98	8.62
20000412	6/15/2017	SNIA-17-01	Granted	Lot 7	Sandy Mine Commercial Park	Gattis Construction	-2.01	6.61
20000409	6/14/2016	SNIA-16-02	Expired	Lot 10	Sandy Mine Commercial Park	Gattis Construction	2.41	9.02
20000408	6/14/2016	SNIA-16-02	Expired	Lot 11	Sandy Mine Commercial Park	Gattis Construction	2.04	11.06
20000413	8/18/2016	SNIA-16-03	Expired	Lot 6	Sandy Mine Commercial Park	Dawn Wallace	2.01	13.07
20000409	8/17/2017	SNIA-17-02	Granted	Lot 10	Sandy Mine Commercial Park	Gattis Construction	-2.41	10.66
20000408	8/17/2017	SNIA-17-03	Granted	Lot 11	Sandy Mine Commercial Park	Gattis Construction	-2.04	8.62
20000413	10/19/2017	SNIA-17-04	Granted	Lot 6	Sandy Mine Commercial Park	Dawn Wallace	-2.01	6.61
20000409	6/14/2016	SNIA-17-02	Expired	Lot 10	Sandy Mine Commercial Park	Gattis Construction	2.41	9.02
20000408	6/14/2016	SNIA-17-03	Expired	Lot 11	Sandy Mine Commercial Park	Gattis Construction	2.04	11.06
20000413	10/19/2017	SNIA-17-04	Expired	Lot 6	Sandy Mine Commercial Park	Storage Solutions of the Sandhills	2.01	13.07
20000413	10/18/2018	SNIA-18-01	Granted	Lot 6	Sandy Mine Commercial Park	Storage Solutions of the Sandhills	-2.01	11.06
20000409	11/15/2018	SNIA-18-02	Granted	Lot 10	Sandy Mine Commercial Park	Gattis Construction	-2.41	8.65
20000408	11/15/2018	SNIA-18-03	Granted	Lot 11	Sandy Mine Commercial Park	Gattis Construction	-2.04	6.61
00050799		SNIA-16-05	Expired			Crossway Church of Worship	8	14.61
20000412		SNIA-17-01	Expired	Lot 7	Sandy Mine Commercial Park	Storage Solutions of the Sandhills	2.01	16.62
00050799 [6]	4/18/2019	SNIA-19-01	Granted			Crossway Church of Worship	-8	8.62
20000412	4/18/2019	SNIA-19-02	Granted	Lot 7	Sandy Mine Commercial Park	Storage Solutions of the Sandhills	-2.01	6.61
20000412	4/19/2020	SNIA-19-02	Expired	Lot 7	Sandy Mine Commercial Park	Storage Solutions of the Sandhills	2.01	8.62
00050799		SNIA-19-01	Expired			Crossway Church of Worship	8	16.62
20000412	9/8/2021	SP-20-14	Granted	Lot 7	Sandy Mine Commercial Park	Storage Solutions of the Sandhills	-2	14.62
Remaining Balance:								14.62



ABERDEEN WATER SUPPLY WATERSHED STUDY

- | | | | |
|---|--|--|---|
|  | Aberdeen Municipal Boundary
(all colored areas outside of this line are Aberdeen ETJ) |  | 10/70 Allocation Granted
(43.94 Acres) |
|  | Highway Commercial Zone |  | May Be Annexed By Aberdeen,
per Agreement with Pinehurst |
|  | Commercial/Lt Industrial Zone |  | WS-II
(622 Acres in Aberdeen Jurisdiction) |
|  | Med-Density Residential Zone |  | Lakes |
|  | Low Density Residential Zone |  | Floodplain |
|  | Manufactured Housing Zone |  | Streams |
|  | Neighborhood Shopping Zone | | |

Map Prepared on 7/12/2016 Using Town Records
and Data Made Available by Moore County

A RESOLUTION TO ACCEPT TRANSFER RIGHTS FOR 10/70 LAND AREA IN THE DROWNING CREEK WATERSHED TO THE TOWN OF ABERDEEN, NORTH CAROLINA FROM COUNTY OF MOORE, NORTH CAROLINA.

THAT WHEREAS, the County of Moore and the Town of Aberdeen have jurisdiction in the Drowning Creek Watershed, which is classified as a WS-II watershed by the North Carolina Environmental Management Commission; and,

WHEREAS, the Town of Aberdeen has adopted a water supply watershed protection ordinance implementing the low-density option and 10/70 provision for WS-II water supply watersheds for its jurisdiction in the Drowning Creek Watershed: and,

WHEREAS, the Drowning Creek Watershed was created as of June 21, 1993, with the County of Moore having 63,970 acres of land within its jurisdiction of said watershed; and,

WHEREAS, the 10/70 provision allows local governments to take a maximum of 10 percent of their jurisdiction in the watershed as of July 1, 1995, and allow new development at up to 70 percent built-upon area, outside of the critical watershed areas, and,

WHEREAS, the Division of Water Quality (DWQ) approved in October of 2012 joint resolutions between Moore County and its eleven municipalities to transfer rights of 5/70 and 10/70 land area in five water supply watersheds. The affected watershed areas were Little River (Vass), Little River (Intake No. 2), Bear Creek, Drowning Creek, and Nicks Creek. Each resolution involved acceptance by a municipality of a specific amount of unused allocation formerly held by Moore County. Amounts for transfer were based on each local government's jurisdiction within a particular watershed as of 2012.; and

WHEREAS, the Drowning Creek watershed after acceptance of the transfer rights in October, 2012 based on each local government's jurisdiction, Moore County had 46,754.03 acres of land within its jurisdiction of said watershed; and

WHEREAS, the Division of Water Quality (DWQ) approved in October 2012 joint resolutions between the Town of Aberdeen and Moore County, acceptance by Aberdeen of 530.01 acres of Moore County's allocation in the Drowning Creek WS-II-BW watershed.; and

WHEREAS, the Town of Aberdeen anticipates that it will soon exceed its allocation of 10/70 option acreage; and

WHEREAS, by letter dated September 27, 2021, Carolina Commercial, a developer seeking to build a multi-family and commercial development in Aberdeen, requested the Town begin the process of seeking to transfer allocated 10/70 option acres from Moore County to the Town of Aberdeen because the development will exceed the Town of Aberdeen's allocation of 10/70 option acreage; and

WHEREAS, pursuant to the Water Supply Watershed Protection Rules (15A NCAC 2B.0200) developed by the North Carolina Environmental Management Commission, the County of Moore may transfer, in

whole or in part, its rights to the watershed acreage to the Town of Aberdeen within the Drowning Creek Watershed; and

WHEREAS, the Moore County Unified Development Ordinance Section 15.9 Allocation Transfer Between Jurisdictions states, “ Moore County having jurisdiction within a designated water supply watershed may transfer, in whole or part, its right to the 5/70 land area to one of the other local government jurisdictions located within Moore County within the same water supply watershed upon submittal of an approved joint resolution between Moore County Board of Commissioners and the governing body of the municipality and approval by the NC Department of Environmental Quality.”; and

WHEREAS, the Town of Aberdeen wishes to clarify allocation to the town and desires the ability for facilities and services which typically require larger amounts of built-upon area to locate in its portion of jurisdiction in the Drowning Creek Watershed, and

NOW, THEREFORE, BE IT RESOLVED the Board of Commissioners of the Town of Aberdeen, North Carolina, accepts the transfer of watershed allocation from the County of Moore to the Town of Aberdeen in the amount 107 +/- acres located in the Drowning Creek Watershed.

FURTHERMORE, following the transfer of the watershed allocation, by the adoption of this resolution, the Town of Aberdeen will now have 107 acres within its jurisdiction with 10.7 acres of allocation available for 10/70 development, and the County of Moore will have a total of 46,647.03 acres within its jurisdiction with 2,311.7765 acres available for 5/70 development in the Drowning Creek Watershed.

Adopted this the _____ day of _____. 2022

Frank Quis, Chairman
Moore County Board of Commissioners

Laura Williams
Clerk to the Board

Watershed Name: Drowning Creek

Classification: WS-II-BW

Total Area in Watershed: 46,754.03

Total Watershed Allocation: 2337.70

Build Upon Limit: 12%

SNIA's Issued: 3

Allocation Used: 7.19

Allocation Remaining: 2330.51

* This number does not deduct the public set aside - see Watershed Summary Tab

LRK	Date Approved	% BUA	Project Acreage		Allocation Remaining		Notes				
97000323			0.88		2336.8215						
97000322	11/7/2013	51	4.53		2332.2915						
20050189	11/7/2013	62	1.78		2330.5115						

MEMORANDUM TO THE PLANNING BOARD

FROM: Debra Enslinger
Planning and Inspections Director

DATE: June 1, 2022

SUBJECT: Conditional Rezoning Request: Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA/CZ) – NC 22 HWY

PRESENTER: Jaimie Walters

REQUEST

Cellco Partnership d/b/a Verizon Wireless is requesting a Conditional Rezoning from Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) to construct a 255' monopole tower for a Wireless Communication Facility on an approximately 0.23-acre portion of one parcel of approximately 70.20 acres located on NC 22 Highway, owned by Carolyn & Chesley Rimmer, per Deed Book 5180 Page 166 and further described as ParID 00003579 in Moore County Tax Records.

Public notification consisted of publishing a legal notice in the local newspaper for two consecutive weeks, notification by mail to adjacent property owners, and placing public hearing signs on the property.

BACKGROUND

The property is currently used for a single-family dwelling and undeveloped land. Adjacent properties include single-family dwellings, and undeveloped land.

While the parcel does have some riverine wetlands, none are located within the rezoning area. The parcel is within the High-Quality Watershed area but is disturbing less than an acre.

COMMUNITY MEETING

The community meeting was conducted at the Moore County Sports Complex Multi-Purpose Room on June 27, 2022, between 2:00 pm and 3:00 pm. Adjacent properties were notified by certified return receipt mail, sent on June 16, 2022. Please refer to attached report for more details.

CONDITIONAL ZONING (CZ)

Conditional rezoning affords a degree of certainty in land use decisions not possible when rezoning to a general district. Conditional Zoning Districts are established to provide for flexibility in the development of property while ensuring that the development is compatible with neighboring uses. Pursuant to NCGS 160D-703, conditional zoning districts requires the approval of a rezoning by the Moore County Board of Commissioners and approval of a site-specific development plan allowing for the development of specific land uses.

Parallel conditional zoning districts are restricted to those uses (meaning either one or multiple uses) listed in the corresponding general use zoning district.

The request shall be in compliance with all relevant portions of the UDO, except that variations from these standards may be approved by the Board of Commissioners if the site plan is submitted and determined to be suitable for the request, is consistent with the intent of the standards, and ensures compatibility with land uses on surrounding properties.

Specific additional conditions applicable to the rezoning request may be proposed by the applicant, the Planning Board, or Board of Commissioners. Only those conditions mutually approved by the county and the applicant may be incorporated into the permit requirements. If a proposed condition is unacceptable to the owner, the petition can be withdrawn, and the proposed rezoning cannot go forward. Likewise, if a condition is unacceptable to the Board of Commissioners, the petition can be denied and there is no rezoning.

Per NCGS 160D-703(b), conditions and site-specific standards shall be limited to those that address the conformance of development and use of the site to County ordinances and officially adopted plans and those that address the impacts reasonably expected to be generated by the development or use of the site.

ZONING DISTRICT COMPATIBILITY

The requested rezoning to Rural Agricultural Conditional Zoning (RA-CZ) is consistent with the existing uses located near the property, including agricultural uses, as the underlying zoning district will remain Rural Agricultural (RA). The surrounding area is zoned Rural Agricultural (RA), Neighborhood Business (B-1) and Residential and Agricultural-40 (RA-40).

CONSISTENCY WITH THE 2013 MOORE COUNTY LAND USE PLAN

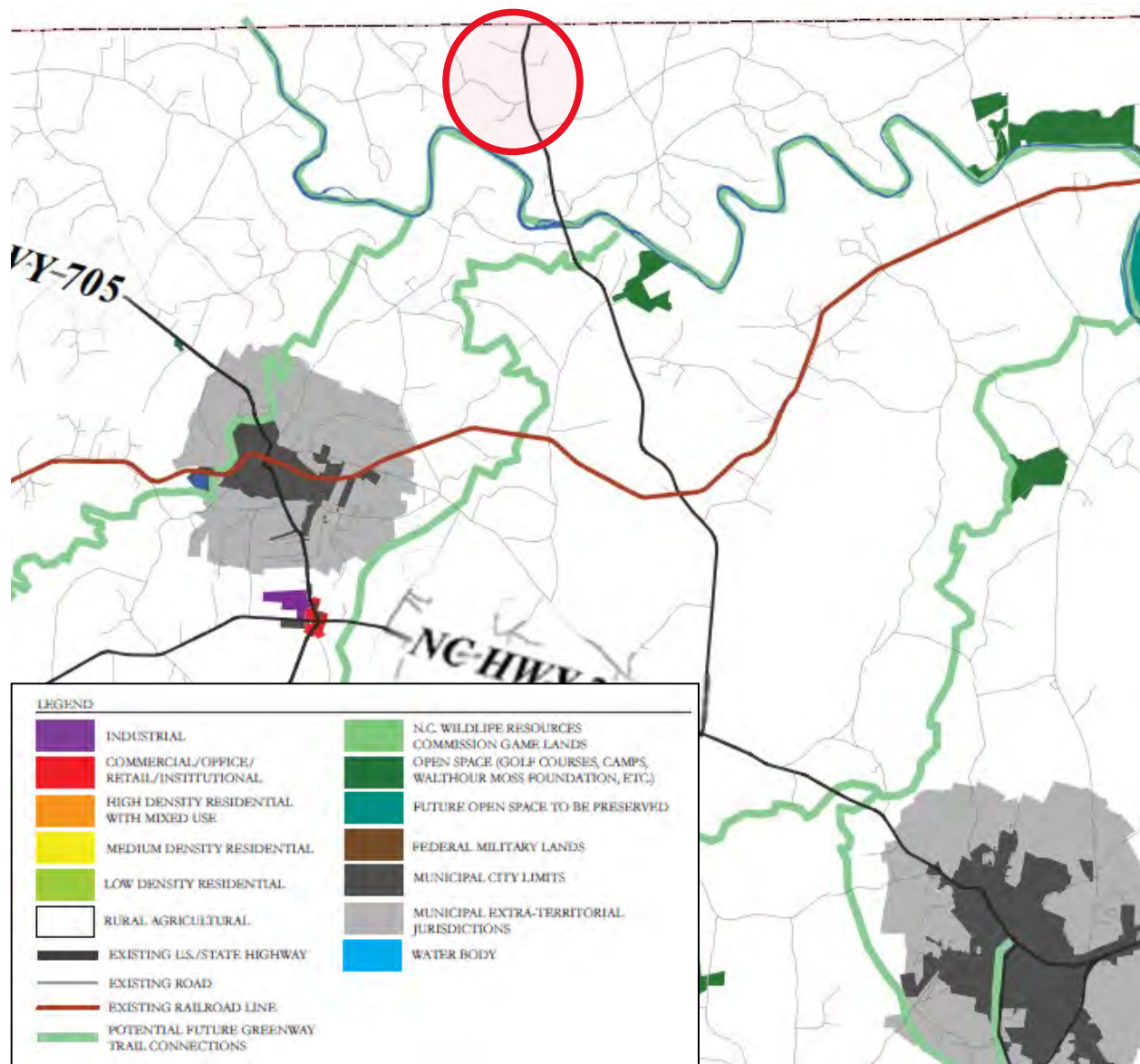
The future land use map identifies the property as Rural Agricultural Classification. The requested zoning to Rural Agricultural Conditional Zoning (RA-CZ) is compatible with the Rural Agricultural Land Use Classification as the underlying district will remain Rural Agricultural (RA) and the request is limited to the wireless communication facility use. Wireless Communication Facility service is in demand in a largely rural area.

The Land Use Plan states the primary use of the Rural Agricultural Land Use Classification is to support rural residential life associated with agricultural uses (e.g., row crops, forestry, horticulture, grazing, poultry, dairy, swine operations, and intensive agricultural uses in certain areas) and other rural activities.

The Moore County Unified Development Ordinance states the Rural Agricultural (RA) district is intended to encourage the continuance of agricultural uses as well as to ensure that residential development of appropriate intensities that are consistent with the suitability of land, availability of public services, and that are compatible with surrounding development, will occur at appropriate densities to provide a healthful environment. The RA District is also intended to accommodate rural commercial activities where the use of site-specific development plans, individualized development conditions, vegetative buffers, larger lots, and the compatibility of adjacent land uses are considered to provide suitable locations for rural commerce and other rural activities.

The rezoning request aligns with the following recommendation as included in the attached Land Use Plan Consistency Statement, including Action 1.5.2: Support new developments that utilize existing or implement planned infrastructure that most economically preserves open space and important historical, natural and cultural features.

MOORE COUNTY FUTURE LAND USE MAP



RECOMMENDATION

Staff recommends the Moore County Planning Board make two separate motions:

Motion #1: Make a motion to adopt the attached **Approval** or **Denial** Moore County Planning Board Land Use Plan Consistency Statement and authorize its Chairman to execute the document as required by North Carolina General Statute 160D-604.

Motion #2: Make a motion to recommend **Approval** or **Denial** to the Moore County Board of Commissioners of the Conditional Rezoning from Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) to construct a 255' monopole tower for a Wireless Communication Facility on an approximately 0.23-acre portion of one parcel of approximately 70.20 acres located on NC 22 Highway, owned by Carolyn & Chesley Rimmer, per Deed Book 5180 Page 166 and further described as ParID 00003579 in Moore County Tax Records.

ATTACHMENTS

- Pictures of Property and Adjacent Properties
- Vicinity Map
- Land Use Map
- Rezoning Map
- Planning Board Consistency Statement – Approval
- Planning Board Consistency Statement – Denial
- Submitted Conditional Rezoning Application
- Submitted Wireless Communications Facilities Application
- Submitted Site Specific Development Plan
- Community Meeting Report
- Deed Book 5180 Page 166

View of subject property (424 NC 22 HWY)



View of adjacent property (364 NC 22 HWY)



View of adjacent property (548 NC 22 HWY)



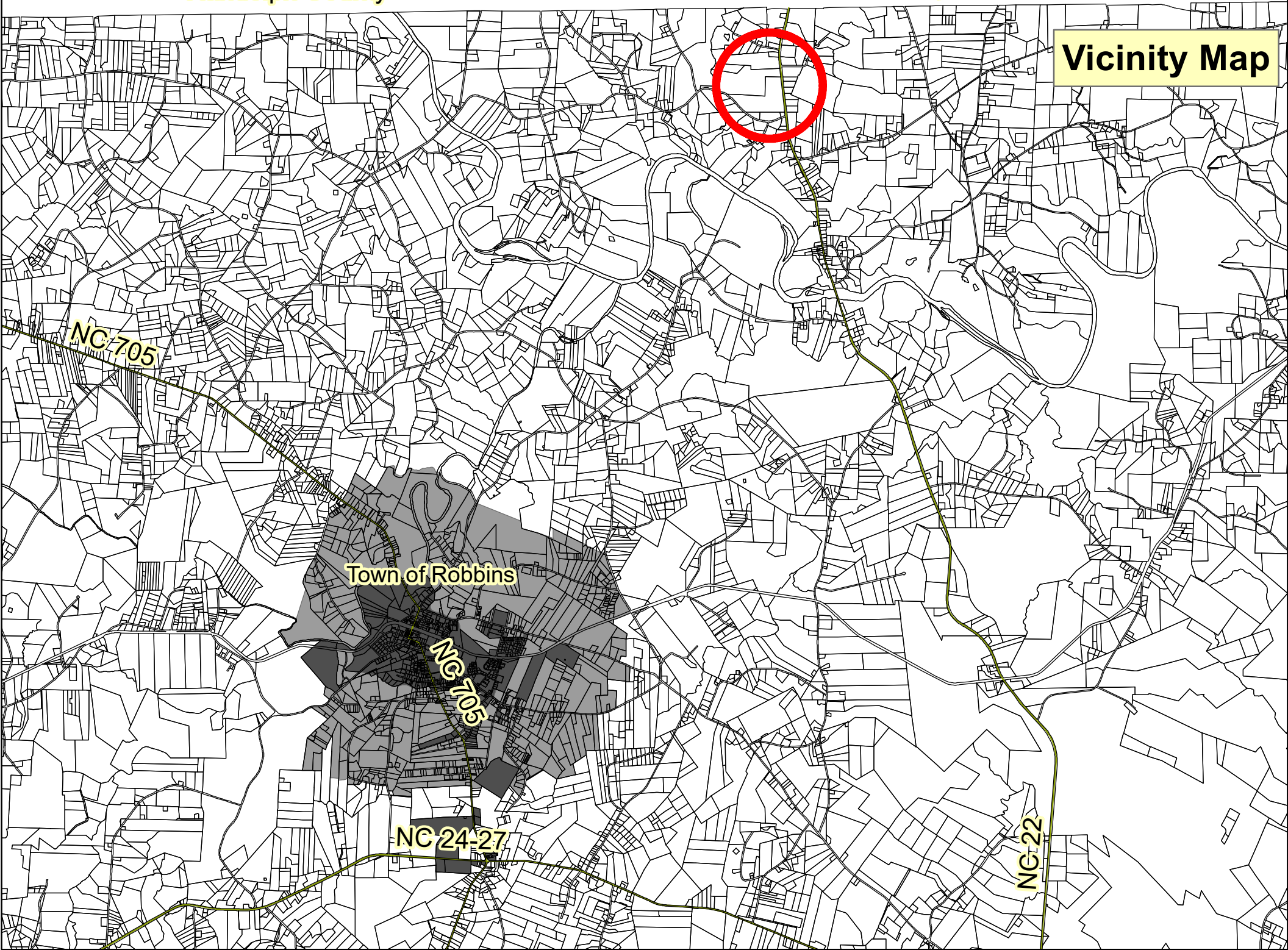
View of adjacent property (431 NC 22 HWY)



Randolph County

Chatham County

Vicinity Map



Zoning Map

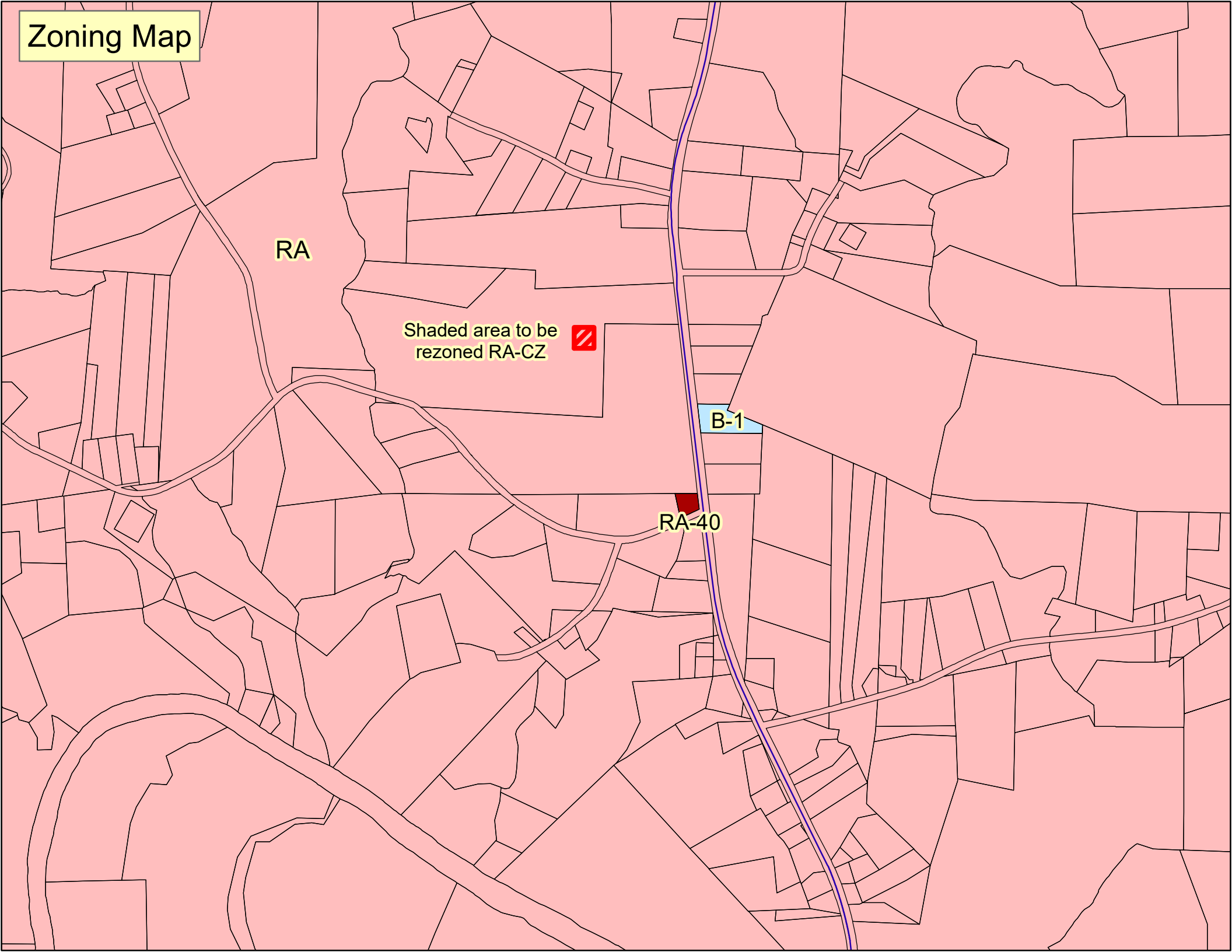
RA

Shaded area to be
rezoned RA-CZ

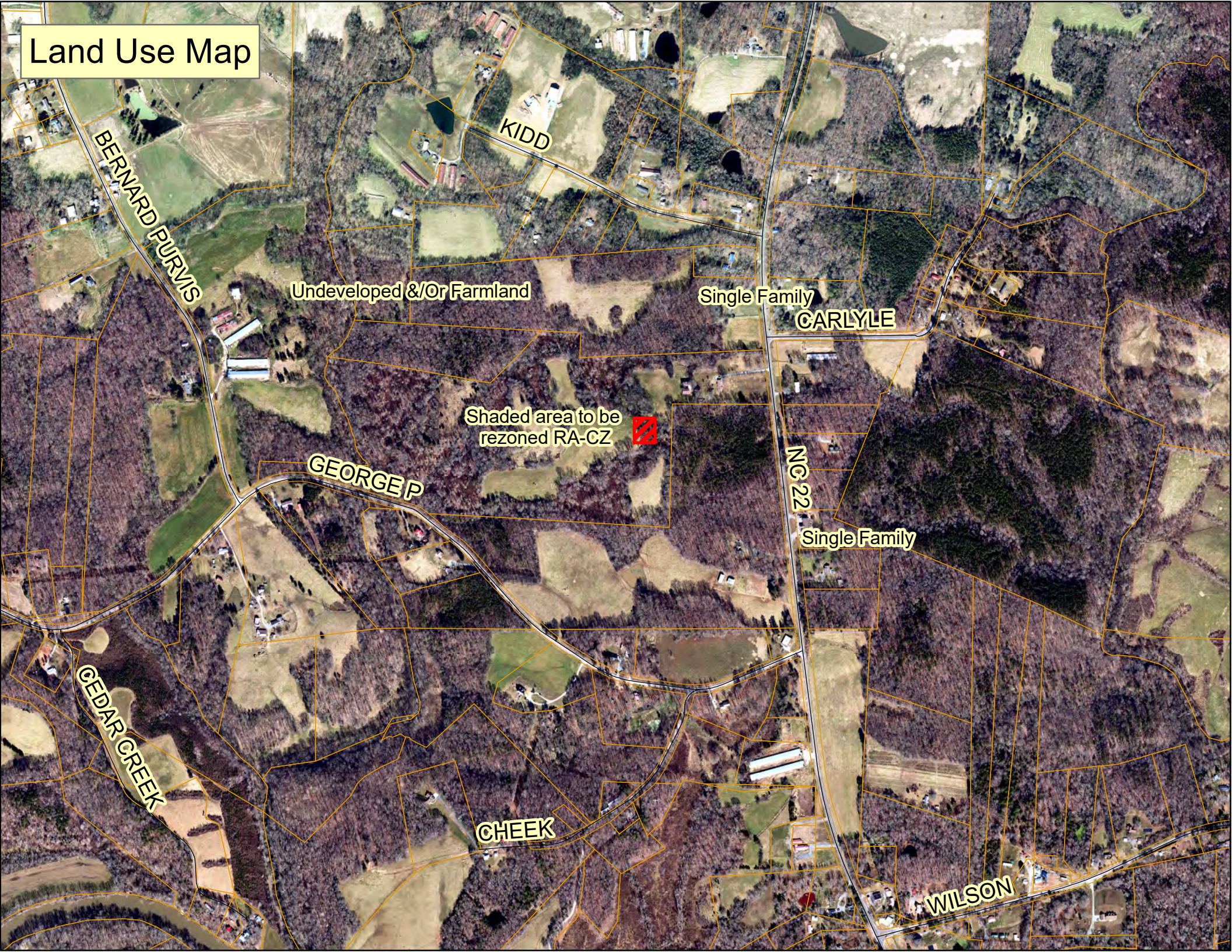


B-1

RA-40



Land Use Map



Moore County Planning Board
Land Use Plan Consistency Statement
Conditional Rezoning Request
Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ)

The Moore County Planning Board finds that:

1. The rezoning request is consistent with the following goal as listed in the 2013 Moore County Land Use Plan:

Goal 1: Preserve and Protect the Ambiance and Heritage of the County of Moore (inclusive of areas around the municipalities)

- Action 1.5.2: Support new developments that utilize existing or implement planned infrastructure that most economically preserves open space and important historical, natural and cultural features.

2. The rezoning request is reasonable and in the public interest considering the property is located adjacent to existing roads and the underlying zoning district will remain in harmony with surrounding zoning.

3. Contributing factors in the rezoning approval are in response to managing the demand of wireless communication service in a largely rural area. This request will also limit the rezoning to maximum area necessary to achieve the development.

Therefore, the Moore County Planning Board recommends **APPROVAL** of the Conditional Rezoning from Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) to construct a 255' monopole tower for a Wireless Communication Facility on an approximately 0.23-acre portion of one parcel of approximately 70.20 acres located on NC 22 Highway, owned by Carolyn & Chesley Rimmer, per Deed Book 5180 Page 166 and further described as ParID 00003579 in Moore County Tax Records.

Joe Garrison, Chair
Moore County Planning Board

Date

Moore County Planning Board
Land Use Plan Consistency Statement
Conditional Rezoning Request
Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ)

The Moore County Planning Board finds that:

1. The rezoning request is consistent with the following goal as listed in the 2013 Moore County Land Use Plan:

Goal 1: Preserve and Protect the Ambiance and Heritage of the County of Moore (inclusive of areas around the municipalities)

- Action 1.5.2: Support new developments that utilize existing or implement planned infrastructure that most economically preserves open space and important historical, natural and cultural features.

2. The proposed rezoning is not reasonable and not in the public interest because the proposed rezoning will have an unreasonable impact on the surrounding community.

Therefore, the Moore County Planning Board recommends **DENIAL** of the Conditional Rezoning from Rural Agricultural (RA) to Rural Agricultural Conditional Zoning (RA-CZ) to construct a 255' monopole tower for a Wireless Communication Facility on an approximately 0.23-acre portion of one parcel of approximately 70.20 acres located on NC 22 Highway, owned by Carolyn & Chesley Rimmer, per Deed Book 5180 Page 166 and further described as ParID 00003579 in Moore County Tax Records.

Joe Garrison, Chair
Moore County Planning Board

Date



County of Moore Planning and Inspections

Inspections/Permitting: (910) 947-2221
Planning: (910) 947-5010
Fax: (910) 947-1303

Conditional Rezoning Application

Application Date: **5/18/22**

Address of Property: **NC Highway 22, Bennett, NC 27208**

Applicant: **Cellco Partnership d/b/a Verizon Wireless**

Phone: **704-577-8785**

Applicant Address: **7821 Research Drive**

City: **Charlotte**

St: **NC**

Zip: **28262**

Owner: **Carolyn K. Rimmer and Chelsey L. Rimmer**

Phone:

Owner Address: **424 Hwy. 22**

City: **Bennett**

St: **NC**

Zip: **27208**

Current Zoning District: **RA**

Proposed Zoning District: **RA**

Current Use(s): **Agricultural/residential**

Proposed Use(s): **Wireless Facility**

Proposed rules, regulations, condition(s) for the proposed district that address the impacts expected to be generated by the development or use of the site:

Moore County, NC Ordinance Section 8.101 governing Wireless Communication Facilities

Moore County, NC Ordinance Section 11.2 Conditional Rezoning

Moore County, NC Ordinance Section 4 Zoning Permits

Statement of reasonableness of the proposed conditional zoning. The statement shall include, but not be limited to the following:

1. The conditional rezoning compatibility with the County Land Use Plan and other adopted plans of the County.
2. The conditional rezoning compatibility with the existing land uses on abutting and neighboring tracts.
3. The benefits and detriments of the conditional rezoning for the subject property, neighboring properties and the surrounding community.

Applicant proposes to install a wireless telecommunications facility to consist of a 255-foot Antenna support structure within a 100'x100' leased area, compound measurement surrounded by a 70'x70' concealment fence, eight foot in height. Said fence to be topped with three strands of twelve-gauge barbed wire. Compound will be secured with locked gate. Said facility will be designed to accommodate the applicant's antennas and accessory equipment, and space for four future tenants as required by Moore County Ordinance.

I (We), the undersigned, certify that all statements furnished in this application are true to the best of my (our) knowledge, and do hereby agree to follow all reasonable requests or information as designated by the County of Moore Zoning Administrator.

Victoria M. Farmer

Digitally signed by Victoria M. Farmer
Date: 2022.05.25 15:27:45 -04'00'

Applicant/Owner Signature

Date

Applicant/Owner Signature

Date

Office Use Only:

App # 40322

PAR ID: _____

Jaime L. Walters

5-25-22

Received By

Date



County of Moore Planning and Inspections

Inspections/Permitting: (910) 947-2221

Planning: (910) 947-5010

Fax: (910) 947-1303

WIRELESS COMMUNICATION FACILITIES (WCF) FREESTANDING NON-CONCEALED

Applicant Information

Applicant Name: Cellco Partnership d/b/a Verizon Wireless Contact Name: Victoria M. Farmer

Address: 7821 Research Dr. City: Charlotte State: NC Zip: 28262

Office Phone: 704-577-8785

Contact Phone: (V. Farmer) 423-802-7847 email: Victoria.Farmer@faulkandfoster.com

Applicant Classification: ☒ Commercial Wireless Provider ☐ Governmental User ☐ Private Business User

Is this a joint application by two or more wireless service providers? ☐ YES ☒ NO

If this is a joint application, please attach contact information for each additional applicant.

Parcel Information

Par ID #: 864300099495 Zoning District: RA

Address: NC Highway 22 City: Bennett Zip: 28327

Landowner Information

Landowner Name: Carolyn K. Rimmer and Chelsey L. Rimmer Phone: 910-879-5684

Address: 424 Hwy. 22 City: Bennett Zip: 28327

WCF Owner Information

Owner Name: Cellco Partnership d/b/a Verizon Wireless Contact Name: Victoria M. Farmer

Address: 7821 Research Dr. City: Charlotte State: NC Zip: 28262

Office Phone: 704-577-8785

Contact Phone: (V. Farmer) 423-802-7847

Email: Victoria.Farmer@faulkandfoster.com

WCF Facility Information

Street Address: NC Hwy 22

Latitude: 35° 30' 20.71" N

Support structure height: 255-ft.

City: Bennett State: NC Zip: 27208

Longitude: 79° 31' 56.12" W

Ground elevation (ASML): 414'

Support structure description: ☒ Monopole ☐ Rooftop ☐ Self Supporting Lattice Tower ☐ Guyed Tower ☐ Other

Height of proposed co-location (AGL): 255-ft + 4' lightning rod Additional co-locations available? ☒ YES ☐ NO

Number of co-location slots available: applicant plus four additional tenants



County of Moore Planning and Inspections

Inspections/Permitting: (910) 947-2221
Planning: (910) 947-5010
Fax: (910) 947-1303

APPLICATION REQUIREMENTS

Please check each item per the Moore County Unified Development Ordinance Section 8.101(B):

- ☐ Site Plan. In addition to the site plan requirements per Section 4.2, the following shall be included: details of existing and proposed facilities and fall zone radius labeled "NO BUILD ZONE."
- ☐ Radio Frequency. A statement from a registered engineer that the WCF will be maintained and operated in accordance with all applicable Federal Communications Commission (FCC) rules regarding radio frequency emissions and interference and if there is interference with public safety communications, the applicant shall utilize procedures set forth by the FCC and the party causing the interference shall reimburse the County for all costs associated with resolving the interference.
- ☐ Structural Analysis. Signed and sealed by a NC Registered Professional Engineer that the support structure upon completion of the applicant's installation has the structural integrity to accommodate the proposed equipment and complies with all applicable Federal and State building, fire, structural, electrical, and safety codes.
- ☐ Lighting. Applicant shall provide documentation that lighting shall not exceed the Federal Aviation Administration (FAA) minimum standards (minimum intensity and longest duration between flashes) and shall utilize allowed downward shielding to minimize visual impact to pedestrians and reduce the potential attraction to migratory birds. Strobe lights during daylight hours and red lights during nighttime hours unless specifically prohibited by the FAA. A WCF may utilize a security light controlled by a motion-detector sensor at or near the entrance to the facility.
- ☐ Owner Authorization. Proof that a property and/or antenna support structure owner's agent has appropriate authorization to act upon the owner's behalf if applicable.
- ☐ Insurance. Proof of certificates of insurance of general liability insurance in the amount of at least \$1,000,000 covering any liability arising out of its construction or operation of the WCF.
- ☐ Bond. Applicant shall submit a performance bond or letter of credit from an accepted bank in the amount of \$20,000 or a bond equal to the written estimate from a qualified tower removal contractor to guarantee that the facility will be removed when no longer in use.
- ☐ US Fish and Wildlife Service submitted information, if applicable. ☐ Yes ☐ No
- ☐ National Environmental Policy Act (NEPA) checklist, if applicable. ☐ Yes ☐ No
- ☐ State Historic Preservation Office (SHPO) letter, if applicable. ☐ Yes ☐ No
- ☐ Federal Aviation Administration (FAA) approval, if applicable. ☐ Yes ☐ No
- ☐ Buffer. Refer to Section 7.11. Grading shall be limited to necessary area.
- ☐ Minimum Antennas. Wireless support structures (WSS) up to 80 feet – 2 antennas minimum. WSS between 81 and 100 feet – 3 antennas minimum. WSS 101 and 125 feet – 4 antennas minimum. WSS 126 feet or taller – 5 antennas minimum.
- ☐ Safety. All support structures shall be certified to comply with the safety standards contained in the Electronics Industries Association /Telecommunications Industries Association (EIA/TIA) document 222-F, or current standard, "Structural Standards For Steel Antenna Towers and Supporting Structures," or current standard, as amended, by a Registered North Carolina Professional Engineer. The use shall be totally enclosed by a security fence a minimum (6) feet high with 3-strand barbed wire or razor wire.



County of Moore Planning and Inspections

Inspections/Permitting: (910) 947-2221

Planning: (910) 947-5010

Fax: (910) 947-1303

- ☐ Setbacks. One foot for every 1 foot in linear height from any property line. WCF shall be a minimum 2,640 feet from any designated National Register of Historic Places.
- ☐ Height. Any WSS shall be 195 feet or less in height. The Moore County Board of Commissioners may permit a taller tower only if undisputable evidence is provided at application that the WCF service area will be so substantially compromised that there would be a requirement of additional WCFs within a distance of two (2) miles.
- ☐ Necessity. For all new WSS applications, a certification from the applicant's RF engineer that it is not reasonably feasible (technically or commercially impractical or the owner of the WSS is unwilling to enter a contract at fair market value) to co-locate new antennas and equipment on an existing WSS within the geographic search area.

I (We), the undersigned, certify that all statements furnished in this application are true to the best of my (our) knowledge, and do hereby agree to follow all reasonable requests or information as designated by the County of Moore Zoning Administrator.

Victoria M. Farmer

Digitally signed by Victoria M. Farmer

Date: 2022.05.25 15:28:17 -04'00'

Applicant/Owner Signature

Date

Applicant/Owner Signature

Date

Office Use Only:

App#40322

PAR ID: _____

Quimie L. Walters

5-25-22

Received By

Date



Verizon Wireless
6921 Research Drive
Charlotte, North Carolina 28262
Phone 704 510-8500

**APPLICATION BY CELLCO PARTNERSHIP d/b/a VERIZON WIRELESS FOR THE
INSTALLATION OF TELECOMMUNICATIONS FACILITY
GEORGE ROAD #696361**

Deborah Ensminger,
Planning and Transportation Director
County of Moore, NC
1048 Carthage Oaks Drive
Carthage, NC 28327
PH: 910-947-5010

Subject: Telecommunications Facility Proposal by
Verizon Wireless Site #696361 (George Road)
Moore County, NC Conditional Rezoning
NC Hwy. 22, Bennett, NC 27208
Parcel ID: 864300099495

Chesley
Carolyn K. Rimmer and ~~Chelsea~~ Rimmer, owners of real estate identified above, hereby authorize Verizon Wireless to submit an application to Moore County, NC Planning & Zoning Department for the purpose of obtaining all necessary zoning and development permits for the installation of a wireless telecommunications facility consisting of a 255-foot antenna support structure to be erected on the subject property, within a leased area of 100'x100'. Said facility to be surrounded by a 70'x70' fence and include a graveled access & utility easement for ingress/egress.

Carolyn K. Rimmer
CAROLYN K. RIMMER

Chesley L. Rimmer
CHELSEA RIMMER
CHESLEY

Date: *12/24/2021*



**APPLICATION FOR ZONING APPROVAL BY VERIZON WIRELESS
FOR THE CONSTRUCTION OF A WIRELESS COMMUNICATION
ANTENNA SUPPORT STRUCTURE AND RELATED APPURTENANCES**

SITE ID #696361 George Road

Faulk & Foster agrees to comply with the Moore County, NC Ordinance governing Wireless Communications and certifies that Verizon Wireless has authorized Faulk & Foster as their representative for application for zoning approval for the proposed site #696361, located on property owned by , specifically identified as NC Highway 22, Bennett, NC 27208. Parcel ID: 859600471781.

Respectfully submitted,

By: *Victoria M. Farmer*

Printed Name: Victoria M. Farmer
Title: Wireless Site Development/Zoning Specialist



Verizon Wireless
8921 Research Drive
Charlotte, North Carolina 28262
Phone 704 510-8500

Network Operations

ORDINANCE COMPLIANCE STATEMENT AND NARRATIVE

Site Plan Review for proposed Cellco Partnership d/b/a Verizon Wireless Telecommunication Facility

Verizon Site Name and Number: GEORGE ROAD #696361

Project Description: Cellco Partnership d/b/a Verizon Wireless ("Verizon Wireless") proposes to place a 255-foot monopole self-supported antenna support structure with a 4-foot lightning arrester and associated ground space equipment area, within a 70'x70' fenced compound within a 100' x 100' leased area.

Parcel Address: NC HIGHWAY 22, BENNETT, NC

Property Owner: Carolyn K. Rimmer and Chelsey L. Rimmer
424 Highway 22, Bennett, NC 27208
PH: (910) 879-5684

Zoning: RA

NARRATIVE

Applicant, Verizon Wireless, is continually improving its network to best meet the needs of the community. The purpose of this proposed antenna support structure will be to provide a solution to a gap coverage in the northern portion of Moore County, in an area along State Highway 22. Nearest commercial site to this location is located no less than 3-1/2 miles south along Highway 22 near McConnell.

Consideration of this application should not, however, be limited to examining how successfully Verizon Wireless has mitigated any negative impact through design and location. The positive impact of the site should be given full weight as well. The benefits of this site to this area of Moore County go beyond just convenience for residents and businesses. Quality wireless service is part of the critical infrastructure necessary for public safety in emergency situations. Given

the design, location and benefits provided by this proposed site, the lack of significant impacts, and compliance with the requirements of the ordinance as more fully demonstrated below, approval of this application is respectfully requested.

ORDINANCE COMPLIANCE STATEMENT

Verizon Wireless offers this Compliance Statement in support of its application for permission pursuant to Moore County zoning regulations applicable to Wireless Communication Facilities.

Chapter 8, Section 8.101 B. ALL WCF AND WSS REQUIREMENTS

For new WCF, collocations, eligible facility requests, or expansions or modifications to an existing WCF, the following shall be included:

1. Site Plan – details of existing and proposed facilities and fall zone radius labelled “No Build Zone”. The overall site plan shown on page C1 contained within the site plans provided demonstrate there are no existing buildings within 500 feet of the area of the proposed facility.
2. Radio Frequency – Applicant states this facility will at all times be maintained and operated in accordance with all applicable Federal Communications Commission (FCC) rules regarding radio frequency emissions and interference in compliance with this requirement.
3. Structural Analysis – Applicant states the site specific passing structural and foundation analysis prepared, signed and sealed by NC Registered Professional Engineer will be completed and supplied to the building codes department following the zoning review and approval has been received. Applicant further states the site will be designed to have the structural integrity to accommodate the proposed equipment in compliance with all current applicable Federal, State and local fire, structural and electrical safety codes, including Electronics Industries Association / Telecommunications Industries Association (EIA/TIA) document 222-F, or “Structural Standards for Steel Antenna and Supporting Structures as required by this paragraph. Last, this area of disturbance will be less than 1 acre, and not relevant to the conditions of this “High Quality Water Area.”
4. Lighting – Applicant states lighting required by the Federal Aviation Administration (FAA) shall not exceed standards and will minimize visual impact with medium intensity white lights during daylight hours and flashing red lights during evening hours as required by this section.
5. Owner Authorization – Applicant has provided a written authorization signed by the property owner, allowing the Applicant to proceed with its application process in compliance with this paragraph.
6. Insurance – Certificate of Insurance of commercial general liability in the amount of \$1,000,000 has been provided with this application in compliance with this requirement.
7. Bond – a Performance Bond in the amount of \$20,000.00 has been provided with this application in compliance with this requirement.

8. Supplemental – Applicant has provided reports demonstrating compliance with NEPA, SHPO and Fish and Wildlife Service, along with an FAA Determination of No Hazard in compliance with this paragraph.

8.101 C. ADDITIONAL REQUIREMENTS

Applicant is proposing to install a 255-foot monopole design self-supporting antenna support structure designed to accommodate five wireless providers' antennas and accessory equipment. Applicant certifies all work shall be performed in accordance with the latest edition of safety standards contained in the EIA/TIA, state, national and local codes, ordinances and/or regulations applicable to this project.

The proposed facility will be surrounded by 8-foot security fencing topped with three strands of 12-gauge galvanized barbed wire, with locked security gates in compliance with this section.

Applicant has provided signed documentation to confirm there are no existing structures or facilities within the geographic search area of this proposed facility upon which to collocate per the requirements of section 8.101 C.6.

Chapter 4, Section 4.2C SITE PLAN REQUIREMENTS

Applicant has provided a full site plan, drawn to scale, and prepared by a NC Professional Engineer to include information as required in this paragraph, and relevant to this project, including but not limited to a survey, site plan layout, grading and erosion control, utility and electrical details.

The proposed wireless telecommunications facility site meets all of the conditions and specifications of Moore County, North Carolina Regulations, and will not materially endanger the public health or safety. Wireless service is considered a public necessity in some cases as it is often the only means citizens have to emergency services. The location and character of the use, if developed according to the plan submitted and recommended, will be in harmony with the area in which it is to be located. The proposed facility will meet the infrastructure needs of this area and will provide much needed access to emergency services.

Respectfully submitted,

Victoria M. Farmer

Wireless Site Development/Zoning Specialist
On behalf of Applicant, Verizon Wireless
423-802-7847



Verizon Wireless
8021 Research Drive
Charlotte, North Carolina 28262
Phone 704 510-8500

**APPLICATION FOR ZONING APPROVAL BY CELLCO PARTNERHSIP d/b/a
VERIZON WIRELESS FOR THE
INSTALLATION OF WIRELESS COMMUNICATION EQUIPMENT**

Deborah Ensminger,
Planning and Transportation Director
County of Moore, NC
1048 Carthage Oaks Drive
Carthage, NC 28327
PH: 910-947-5010

Subject: Telecommunications Facility Proposal by
Verizon Wireless Site #696361 (George Road)
Moore County, NC Conditional Rezoning
NC Hwy. 22, Bennett, NC 27208
Parcel ID: 864300099495

Pursuant to Chapter 8, Section 8.101 C.6 of the Moore County, NC Ordinance governing Wireless Telecommunication Facilities, Cellco Partnership d/b/a Verizon Wireless, by its representative, provides this statement of compliance to confirm no commercial structures currently exist within the geographic search area for this proposed wireless communications facility along NC Highway 22 in Bennett, NC.

Respectfully submitted,
Chase Real Estate Services

A handwritten signature in black ink that reads 'David Best'.

Representative for Verizon Wireless

Date: 12-22-2021



CERTIFICATE OF LIABILITY INSURANCE

DATE(MM/DD/YYYY)
12/16/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Aon Risk Services Northeast, Inc. New York NY Office One Liberty Plaza 165 Broadway, Suite 3201 New York NY 10006 USA	CONTACT NAME:	
	PHONE (A/C. No. Ext): (866) 283-7122	FAX (A/C. No.): (800) 363-0105
INSURED Verizon Wireless, LLC 1095 Avenue of the Americas New York NY 10036 USA	E-MAIL ADDRESS:	
	INSURER(S) AFFORDING COVERAGE	
	NAIC #	
	INSURER A: AIU Insurance Company	19399
	INSURER B: National Union Fire Ins Co of Pittsburgh	19445
	INSURER C:	
	INSURER D:	
INSURER E:		
INSURER F:		

COVERAGES**CERTIFICATE NUMBER:** 570090642971**REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

Limits shown are as requested

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
B	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> XCU Coverage is Included GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:			1728890	06/30/2021	06/30/2022	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$2,000,000 MED EXP (Any one person) \$10,000 PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS - COMP/OP AGG \$2,000,000
B	AUTOMOBILE LIABILITY			4594298	06/30/2021	06/30/2022	COMBINED SINGLE LIMIT (Ea accident) \$2,000,000
B	<input checked="" type="checkbox"/> ANY AUTO			AOS	06/30/2021	06/30/2022	BODILY INJURY (Per person)
B	<input type="checkbox"/> OWNED AUTOS ONLY	<input type="checkbox"/> SCHEDULED AUTOS		4594299	06/30/2021	06/30/2022	BODILY INJURY (Per accident)
B	<input type="checkbox"/> HIRED AUTOS ONLY	<input type="checkbox"/> NON-OWNED AUTOS ONLY		MA	06/30/2021	06/30/2022	PROPERTY DAMAGE (Per accident)
B	<input type="checkbox"/> VA			4594300	06/30/2021	06/30/2022	
	See Next Page				06/30/2021	06/30/2022	
	UMBRELLA LIAB <input type="checkbox"/> OCCUR						EACH OCCURRENCE
	EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE						AGGREGATE
	<input type="checkbox"/> DED <input type="checkbox"/> RETENTION						
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY			16393209	06/30/2021	06/30/2022	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTH
A	ANY PROPRIETOR / PARTNER / EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N N	N/A	AOS	06/30/2021	06/30/2022	E.L. EACH ACCIDENT \$1,000,000
				16393206			E.L. DISEASE-EA EMPLOYEE \$1,000,000
				CA			E.L. DISEASE-POLICY LIMIT \$1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

RE: Verizon Site Name: George Rd., NC Hwy. 22, Bennett, NC 27208, Location Code: 696361. Moore County Planning and Transportation is included as an Additional Insured with respect to the General Liability policy.

CERTIFICATE HOLDER**CANCELLATION**

Moore County Planning and Transportation Attn: Deborah Ensminger, Director 1048 Carriage Oaks Drive Carthage NC 28327 USA	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE <i>Aon Risk Services Northeast, Inc.</i>

Holder Identifier :

570090642971

Certificate No :



ADDITIONAL REMARKS SCHEDULE

Page _ of _

AGENCY Aon Risk Services Northeast, Inc.		NAMED INSURED Verizon Wireless, LLC	
POLICY NUMBER See Certificate Number: 570090642971			
CARRIER See Certificate Number: 570090642971	NAIC CODE	EFFECTIVE DATE:	

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,

FORM NUMBER: ACORD 25 FORM TITLE: Certificate of Liability Insurance

INSURER(S) AFFORDING COVERAGE	NAIC #
INSURER	
INSURER	
INSURER	
INSURER	

ADDITIONAL POLICIES

If a policy below does not include limit information, refer to the corresponding policy on the ACORD certificate form for policy limits.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YYYY)	POLICY EXPIRATION DATE (MM/DD/YYYY)	LIMITS
	AUTOMOBILE LIABILITY						
B				4594301 NH - Primary	06/30/2021	06/30/2022	
B				4594302 NH - Excess	06/30/2021	06/30/2022	
	WORKERS COMPENSATION						
A		N/A		16393207 NY	06/30/2021	06/30/2022	
A		N/A		16393208 MA,ND,OH,WI,WY	06/30/2021	06/30/2022	
A		N/A		16393205 NJ,TX,VA	06/30/2021	06/30/2022	

TOWER / STRUCTURE / ANTENNA/ EQUIPMENT REMOVAL BOND

Bond # CMS0346723

Site Name: Gearge Road

Site Location: NC Hwy 22

Verizon Project #: 15160919

Verizon Tower Location Code: 696361

KNOW ALL MEN BY THESE PRESENTS, THAT, Cellco Partnership, as Principal, and RLI Insurance Company, a corporation duly organized under the laws of the State of Illinois, as Surety, are held and firmly bound unto Moore County , 1048 Carriage Oaks Drive, Carthage, NC 28327, as Oblige, in the sum of Twenty Thousand and 00/100 (\$20,000.00) lawful money of the United States, for the payment of which, well and truly to be made, we bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents, the liability of the Surety being limited to the penal sum of this bond regardless of the number of years the bond is in effect.

WHEREAS the Principal has entered into a written agreement with the property owner for the placement of a tower(s), structure(s), antenna(s), and/or equipment furnishing telephone, television or other electronic media service, which agreement sets forth the terms and conditions which govern the use of such tower(s), structure(s), antenna(s), and/or equipment and which agreement is hereby specifically referred to and made part hereof, and

WHEREAS, the Oblige requires the submission of a bond guaranteeing the maintenance, replacement, removal or relocation of said tower(s), structure(s), antenna(s), and/or equipment.

NOW THEREFORE, the condition of this obligation is such, that if the above bounden Principal shall perform in accordance with the aforesaid ordinance and/or agreement, and indemnify the Oblige against all loss caused by Principal's breach of any ordinance or agreement relating to maintenance, replacement, removal or relocation of a tower(s), structure(s), antenna(s), and/or equipment, then this obligation shall be void, otherwise to remain in full force and effect unless cancelled as set forth below.

THIS BOND may be cancelled by Surety by giving thirty (30) days written notice to the Oblige by certified mail. Such cancellation shall not affect any liability the Surety may have or incurred under this bond prior to the effective date of the termination. Provided that no action, suit or proceeding shall be maintained against the Surety on this bond unless action is brought within twelve (12) months of the cancellation date of this bond.

THIS BOND signed, sealed, dated on the 16th day of December, 2021. This bond is effective the 16th day of December, 2021.

Cellco Partnership

Principal

By: Earl M

RLI Insurance Company

Surety

By: Leah L. Juenger

Leah L. Juenger, Attorney-In-Fact

POWER OF ATTORNEY

RLI Insurance Company Contractors Bonding and Insurance Company

9025 N. Lindbergh Dr. Peoria, IL 61615
Phone: 800-645-2402

Bond No. CMS0346723

Know All Men by These Presents:

That this Power of Attorney is not valid or in effect unless attached to the bond which it authorizes, but may be detached by the approving officer if desired.

That this Power of Attorney may be effective and given to either or both of **RLI Insurance Company and Contractors Bonding and Insurance Company**, required for the applicable bond.

That **RLI Insurance Company and/or Contractors Bonding and Insurance Company**, each Illinois corporations (as applicable), each authorized and licensed to do business in all states and the District of Columbia do hereby make, constitute and appoint:

Leah L. Juenger in the City of St. Louis, State of Missouri

it's true and lawful Agent and Attorney in Fact, with full power and authority hereby conferred upon him/her to sign, execute, acknowledge and deliver for and on its behalf as Surety, in general, any and all bonds and undertakings in an amount not to exceed Twenty Five Million Dollars (\$25,000,000) for any single obligation, and specifically for the following described bond.

Principal: Celco Partnership
Obligee: Moore County

RLI Insurance Company and Contractors Bonding and Insurance Company, as applicable, have each further certified that the following is a true and exact copy of a Resolution adopted by the Board of Directors of each such corporation, and now in force, to-wit:

"All bonds, policies, undertakings, Powers of Attorney or other obligations of the Corporation shall be executed in the corporate name of the Corporation by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President, or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys in Fact or Agents who shall have authority to issue bonds, policies or undertakings in the name of the Corporation. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the Corporation. The signature of any such officer and the corporate seal may be printed by facsimile or other electronic image."

IN WITNESS WHEREOF, **RLI Insurance Company and/or Contractors Bonding and Insurance Company**, as applicable, have caused these presents to be executed by its respective Vice President with its corporate seal affixed this 16th day of December, 2021.



**RLI Insurance Company
Contractors Bonding and Insurance Company**

B. W. Davis

Barton W. Davis Vice President

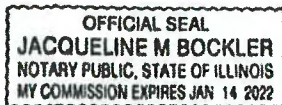
State of Illinois

County of Peoria

} SS

On this 16th day of December, 2021, before me, a Notary Public, personally appeared Barton W. Davis, who being by me duly sworn, acknowledged that he signed the above Power of Attorney as the aforesaid officer of the **RLI Insurance Company and/or Contractors Bonding and Insurance Company**, and acknowledged said instrument to be the voluntary act and deed of said corporation.

By: Jacqueline M. Bockler
Jacqueline M. Bockler Notary Public



CERTIFICATE

I, the undersigned officer of **RLI Insurance Company and/or Contractors Bonding and Insurance Company**, do hereby certify that the attached Power of Attorney is in full force and effect and is irrevocable; and furthermore, that the Resolution of the Company as set forth in the Power of Attorney, is now in force. In testimony whereof, I have hereunto set my hand and the seal of the **RLI Insurance Company and/or Contractors Bonding and Insurance Company** this 16th day of December, 2021.

**RLI Insurance Company
Contractors Bonding and Insurance Company**

By: Jeffrey D. Fick
Jeffrey D. Fick Corporate Secretary

* Federal Airways & Airspace *
* Summary Report: New Construction *
* Antenna Structure *

Airspace User: Yousuf Moiz

File: GEORGE_RD

Location: Robbins, NC

Latitude: 35°-30'-20.71" Longitude: 79°-31'-56.12"

SITE ELEVATION AMSL.....411.9 ft.

STRUCTURE HEIGHT.....259 ft.

OVERALL HEIGHT AMSL.....671 ft.

NOTICE CRITERIA

FAR 77.9(a): NR (Exceeds 200 ft AGL)

FAR 77.9(b): NNR (DNE Notice Slope)

FAR 77.9(c): NNR (Not a Traverse Way)

FAR 77.9: NNR FAR 77.9 IFR Straight-In Notice Criteria for BQ1

FAR 77.9: NNR FAR 77.9 IFR Straight-In Notice Criteria for SCR

FAR 77.9(d): NNR (Off Airport Construction)

NR = Notice Required

NNR = Notice Not Required

PNR = Possible Notice Required (depends upon actual IFR procedure)
For new construction review Air Navigation Facilities at bottom
of this report.

Notice to the FAA is required because height exceeds 200 feet AGL.

OBSTRUCTION STANDARDS

FAR 77.17(a)(1): DNE 499 ft AGL

FAR 77.17(a)(2): DNE - Airport Surface

FAR 77.19(a): DNE - Horizontal Surface

FAR 77.19(b): DNE - Conical Surface

FAR 77.19(c): DNE - Primary Surface

FAR 77.19(d): DNE - Approach Surface

FAR 77.19(e): DNE - Approach Transitional Surface

FAR 77.19(e): DNE - Abeam Transitional Surface

VFR TRAFFIC PATTERN AIRSPACE FOR: BQ1: GILLIAM - MC CONNELL AIRFIELD

Type: A RD: 65046.84 RE: 416.2

FAR 77.17(a)(1): DNE

FAR 77.17(a)(2): Does Not Apply.

VFR Horizontal Surface: DNE

VFR Conical Surface: DNE

VFR Primary Surface: DNE
VFR Approach Surface: DNE
VFR Transitional Surface: DNE

VFR TRAFFIC PATTERN AIRSPACE FOR: SCR: SILER CITY MUNI

Type: A RD: 70476.41 RE: 598.5
FAR 77.17(a)(1): DNE
FAR 77.17(a)(2): DNE - Greater Than 5.99 NM.
VFR Horizontal Surface: DNE
VFR Conical Surface: DNE
VFR Primary Surface: DNE
VFR Approach Surface: DNE
VFR Transitional Surface: DNE

TERPS DEPARTURE PROCEDURE (FAA Order 8260.3, Volume 4)
FAR 77.17(a)(3) Departure Surface Criteria (40:1)
DNE Departure Surface

MINIMUM OBSTACLE CLEARANCE ALTITUDE (MOCA)
FAR 77.17(a)(4) MOCA Altitude Enroute Criteria
The Maximum Height Permitted is 1500 ft AMSL

PRIVATE LANDING FACILITIES
No Private Landing Facilities Are Within 6 NM

AIR NAVIGATION ELECTRONIC FACILITIES

APCH	FAC	ST	DIST	DELTA	GRND					
BEAR	IDNT	TYPE	AT	FREQ	VECTOR	(ft)	ELEVA	ST	LOCATION	ANGLE
----	SDZ	VORTAC	R	111.8	188.91	106954	+83	NC	SANDHILLS	.04
	LIB	VORTAC	I	113.0	347.93	113863	-157	NC	LIBERTY	-.08
	FAY	RADAR	I	2740.	152.81	190191	+288	NC	FAYETTEVILLE REGI	.09
	POB	TACAN	R	113.8	128.91	196118	+466	NC	POPE	.14

CFR Title 47, §1.30000-§1.30004
AM STUDY NOT REQUIRED: Structure is not near a FCC licensed AM station.
Movement Method Proof as specified in §73.151(c) is not required.
Please review 'AM Station Report' for details.

No AM Stations were located within 3.0 km.

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10-18-2021

13:10:41



Radio Frequency Exposure

RF Safety and NIER Analysis Report

01/10/2022

Site: GEORGE RD

Bennett, NC

Prepared for: Verizon

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1 Certification

This report, prepared by Pramira, Inc. for **Verizon**, is intended to document compliance and evaluate power density levels as outlined in the report. The computations, analysis, and resulting report and conclusions were based on applicable FCC guidelines and regulations for maximum permissible exposure to humans consistent with FCC OET Bulletin 65, Edition 97-01.

Additionally, Pramira, Inc. certifies that the assumptions are valid and that the data used within Pramira control are accurate, including information collected as part of Pramira field surveys. Pramira, Inc. does not however certify the accuracy or correctness of any data provided to Pramira, Inc. for this analysis and report by Verizon or other third parties working on behalf of Verizon.

I certify that the attached RF exposure analysis and report is correct to the best of my knowledge, and all calculations, assumptions and conclusions are based on generally acceptable engineering practices:



Tim Alexander, PE

Digitally signed by Tim Alexander, PE
DN: cn=Tim Alexander, PE, o, ou,
email=timalexander@hotmail.com, c=US
Date: 2022.01.10 14:13:53 -07'00'

Tim Alexander, P.E.







Report Prepared by: Abdelsalam Masoud, 01/10/2022

Report Reviewed by: Mike Arnold, 01/10/2022

2 Executive Summary

This report provides the results of an RF power density analysis performed for **Verizon** at site **GEORGE RD** in accordance with the Federal Communications Commission (FCC) rules and regulations for RF emissions described in OET Bulletin 65, Edition 97-01.

This report addresses RF safety for two classified groups defined by OET Bulletin 65: Occupational/ Controlled and General Population/ Uncontrolled. Based on the analysis, this site will be **Compliant** with FCC rules and regulations and Verizon's Signage and Barrier Policy if the mitigation details provided in Table 1 are implemented.

Final Compliant Configuration						
	GUIDELINES	NOTICE	CAUTION	WARNING	NOC INFO	BARRIER/MARKER
Access Point(s)	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []
Alpha	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []
Beta	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []
Gamma	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []

NOTE: The table represents either the signage/barriers installed / removed **OR** items required by the market (if mitigation is not installed by consultant/vendor).

Specialty Sign Detail

Location	N/A
Access Point	N/A
Alpha	N/A
Beta	N/A
Gamma	N/A

NOTE: The tables above represent **EXISTING** compliance items implemented at this location.

Notes/ Additional Compliance Requirements(s):
This site is Compliant.

Table 1: Mitigation Requirements for Compliance

2.1 Conclusion and Recommendations

- The results of the analysis indicate that the power density levels in the generally accessible areas on the **Antenna** Level will not exceed the FCC's MPE limit for General Population. Notice that the power density levels will exceed the FCC's MPE limit for General Population and Occupational in front of the antennas which it is not generally accessible area.
- The results of the analysis indicate that the power density levels in the generally accessible areas on the **Verizon Equipment** Level will not exceed the FCC's MPE limit for General Population.
- The max theoretical % MPE is **1808.76%** directly in front of the antennas beams at the **Antenna Level**. Notice that the power density levels will exceed the FCC's MPE limit for General Population and Occupational in front of the antennas which it is not generally accessible area.
- This site is Compliant no Mitigation is required.

Note: Modifications to the site; and/or increases in channel counts or power levels exceeding those listed in this report will require additional evaluation to determine compliance.

3 Introduction

The purpose of this analysis and report is to evaluate the cumulative power density levels of all non-excluded antennas located on the site and identify any areas of concern that require mitigation. This report also assesses the site's compliance with FCC OET Bulletin 65; "Guidelines for Human Exposure to Radio-frequency Electromagnetic Fields".

The power density simulation performed for this site utilized RoofMaster® analysis software. All antennas were assigned an operating frequency and transmit power and were deemed to be operating at 100% of their rated output power.

3.1 Site Description:

- **Site Name:** GEORGE RD
- **Street Address:** behind 424 NC Highway 22
Bennett, NC, 27208
- **Latitude:** 35° 30' 20.7072" N
- **Longitude:** 79° 31' 56.1216" W
- **Structure Type:** Self Support (Lattice Tower)
- **Structure Height:** ± 255' AGL
- **Co-Locators/ Other Antennas:** CD shows Co-locator antennas. Since no co-locator data was provided, a general antenna configuration was used modeling the Unknown carrier. However, until those details can be confirmed in the Post analysis, (Unknown) was used as an identifier in the report. C/Ls were estimated from the CDs.
- **BTS Equipment Location:** The Verizon Equipment is located on the Ground Level.

3.2 Site Configuration Being Modeled

- This is a Self-Support (Lattice Tower) application where Verizon antennas are mounted to mounting pipes on the Tower.
- This is a Three-Sector site supporting C-Band at 3700 MHz for LTE at 700, 850, 1900, 2100 MHz, and 5GNR at 850 MHz for all sectors. All LTE assumes 4x4 MIMO.
- The values of the antennas rad center for all sectors (250'), Antenna Level Height (250') and Verizon Equipment Height (14') are based on CDs and RFDS. These values must be verified on the site audit for the post study.
- All technologies were evaluated assuming the maximum number of channels and were running at maximum power 100% of the time.

4 Predictive Analysis Details

For purposes of this analysis, RoofMaster® was configured to provide an output based on the appropriate MPE limit(s) published in the FCC's guidelines. The antenna information was loaded into RoofMaster®, an MPE predictive analysis tool by Waterford Consultants, LLC.

4.1 Analysis Locations:

Number of Elevations Analyzed: 2

- Antenna Level
- Verizon Equipment Level
- A study at the Ground level was not required as the study at the Verizon Equipment level shows that the MPE limit is below the General Population MPE limit on the Ground level.

4.2 Antenna Inventory

The following table contains the technical data used to simulate the power density that may be encountered with all antennas simultaneously operating at full rated power with the exception of any excluded antennas cited in this document. If co-locator's antennas exist and specific antenna details could not be secured, generic antennas, frequencies, and transmit powers were used for modeling. The assumptions used are based on past experience with communications carriers.

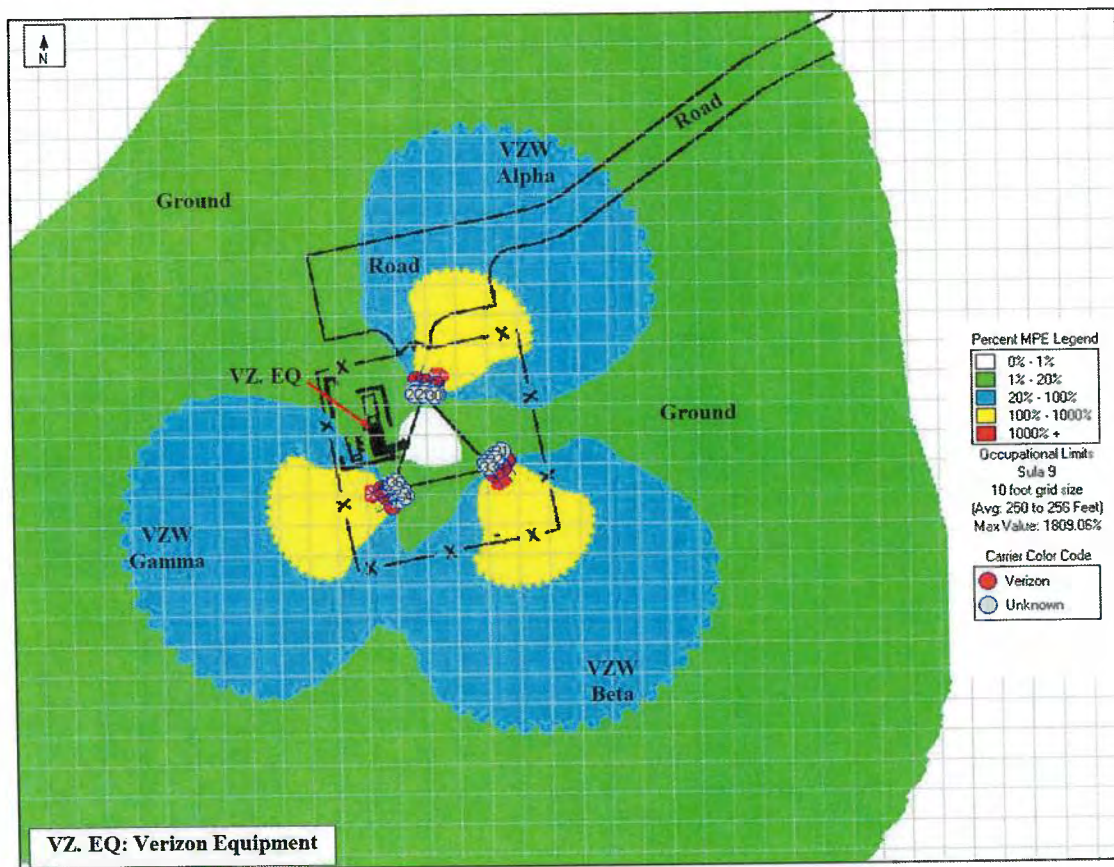
ID	Name	(MHz)	Trans Power	Trans Count	Other Loss	Calc Power	Mfg	Model	Antenna Level, Z (ft)	VZ, EQ, Z (ft)	Type	(ft) Aper	dBd Gain	Bandwidth	Orientation
VZ Alpha_Ant1	L700	730	40.0	2	0.5	71.3	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	13.2	65	30
VZ Alpha_Ant1	L850	880	40.0	2	0.5	71.3	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	13.53	62	30
VZ Alpha_Ant1	L1900	1900	40.0	4	0.5	142.6	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	15.17	66	30
VZ Alpha_Ant2	L700	730	40.0	2	0.5	71.3	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	13.2	65	30
VZ Alpha_Ant2	L850	880	40.0	2	0.5	71.3	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	13.53	62	30
VZ Alpha_Ant2	L2100	2110	40.0	4	0.5	142.6	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	15.82	62	30
VZ Alpha_Ant3	C-Band	3700	320.0	1	0.0	320.0	Ericsson	AIR6449	0.0	236.0	Panel	2.8	23.55	11	30
VZ Beta-Ant1	L700	730	40.0	2	0.5	71.3	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	13.2	65	150
VZ Beta-Ant1	L850	880	40.0	2	0.5	71.3	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	13.53	62	150
VZ Beta-Ant1	L1900	1900	40.0	4	0.5	142.6	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	15.17	66	150
VZ Beta-Ant2	L700	730	40.0	2	0.5	71.3	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	13.2	65	150
VZ Beta-Ant2	L850	880	40.0	2	0.5	71.3	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	13.53	62	150
VZ Beta-Ant2	L2100	2110	40.0	4	0.5	142.6	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	15.82	62	150
VZ Beta-Ant3	C-Band	3700	320.0	1	0.0	320.0	Ericsson	AIR6449	0.0	236.0	Panel	2.8	23.55	11	150
VZ Gamma-Ant1	L700	730	40.0	2	0.5	71.3	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	13.2	65	250
VZ Gamma-Ant1	L850	880	40.0	2	0.5	71.3	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	13.53	62	250
VZ Gamma-Ant1	L1900	1900	40.0	4	0.5	142.6	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	15.17	66	250
VZ Gamma-Ant2	L700	730	40.0	2	0.5	71.3	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	13.2	65	250
VZ Gamma-Ant2	L850	880	40.0	2	0.5	71.3	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	13.53	62	250
VZ Gamma-Ant2	L2100	2110	40.0	4	0.5	142.6	ANDREW	NHH-65C-R2B	0.0	236.0	Panel	8.0	15.82	62	250
VZ Gamma-Ant3	C-Band	3700	320.0	1	0.0	320.0	Ericsson	AIR6449	0.0	236.0	Panel	2.8	23.55	11	250
Unknown-Ant1	L700	1900	40.0	4	0.5	142.6	Unknown	Unknown	-18.0	218.0	Panel	6.0	13.2	65	30
Unknown-Ant2	L1900	1900	80.0	2	0.5	142.6	Unknown	Unknown	-18.0	218.0	Panel	6.0	15.17	66	30
Unknown-Ant3	L2100	1900	80.0	2	0.5	142.6	Unknown	Unknown	-18.0	218.0	Panel	6.0	15.82	62	30
Unknown-Ant4	L700	1900	40.0	4	0.5	142.6	Unknown	Unknown	-18.0	218.0	Panel	6.0	13.2	65	150
Unknown-Ant5	L1900	1900	80.0	2	0.5	142.6	Unknown	Unknown	-18.0	218.0	Panel	6.0	15.17	66	150
Unknown-Ant6	L2100	1900	80.0	2	0.5	142.6	Unknown	Unknown	-18.0	218.0	Panel	6.0	15.82	62	150
Unknown-Ant7	L700	1900	40.0	4	0.5	142.6	Unknown	Unknown	-18.0	218.0	Panel	6.0	13.2	65	250
Unknown-Ant8	L1900	1900	80.0	2	0.5	142.6	Unknown	Unknown	-18.0	218.0	Panel	6.0	15.17	66	250
Unknown-Ant9	L2100	1900	80.0	2	0.5	142.6	Unknown	Unknown	-18.0	218.0	Panel	6.0	15.82	62	250
Unknown-Ant10	L700	1900	40.0	4	0.5	142.6	Unknown	Unknown	-36.0	200.0	Panel	6.0	13.2	65	30
Unknown-Ant11	L1900	1900	80.0	2	0.5	142.6	Unknown	Unknown	-36.0	200.0	Panel	6.0	15.17	66	30
Unknown-Ant12	L2100	1900	80.0	2	0.5	142.6	Unknown	Unknown	-36.0	200.0	Panel	6.0	15.82	62	30
Unknown-Ant13	L700	1900	40.0	4	0.5	142.6	Unknown	Unknown	-36.0	200.0	Panel	6.0	13.2	65	150
Unknown-Ant14	L1900	1900	80.0	2	0.5	142.6	Unknown	Unknown	-36.0	200.0	Panel	6.0	15.17	66	150
Unknown-Ant15	L2100	1900	80.0	2	0.5	142.6	Unknown	Unknown	-36.0	200.0	Panel	6.0	15.82	62	150
Unknown-Ant16	L700	1900	40.0	4	0.5	142.6	Unknown	Unknown	-36.0	200.0	Panel	6.0	13.2	65	250
Unknown-Ant17	L1900	1900	80.0	2	0.5	142.6	Unknown	Unknown	-36.0	200.0	Panel	6.0	15.17	66	250
Unknown-Ant18	L2100	1900	80.0	2	0.5	142.6	Unknown	Unknown	-36.0	200.0	Panel	6.0	15.82	62	250
Unknown-Ant19	L700	1900	40.0	4	0.5	142.6	Unknown	Unknown	-54.0	182.0	Panel	6.0	13.2	65	30
Unknown-Ant20	L1900	1900	80.0	2	0.5	142.6	Unknown	Unknown	-54.0	182.0	Panel	6.0	15.17	66	30
Unknown-Ant21	L2100	1900	80.0	2	0.5	142.6	Unknown	Unknown	-54.0	182.0	Panel	6.0	15.82	62	30
Unknown-Ant22	L700	1900	40.0	4	0.5	142.6	Unknown	Unknown	-54.0	182.0	Panel	6.0	13.2	65	150
Unknown-Ant23	L1900	1900	80.0	2	0.5	142.6	Unknown	Unknown	-54.0	182.0	Panel	6.0	15.17	66	150
Unknown-Ant24	L2100	1900	80.0	2	0.5	142.6	Unknown	Unknown	-54.0	182.0	Panel	6.0	15.82	62	150
Unknown-Ant25	L700	1900	40.0	4	0.5	142.6	Unknown	Unknown	-54.0	182.0	Panel	6.0	13.2	65	250
Unknown-Ant26	L1900	1900	80.0	2	0.5	142.6	Unknown	Unknown	-54.0	182.0	Panel	6.0	15.17	66	250
Unknown-Ant27	L2100	1900	80.0	2	0.5	142.6	Unknown	Unknown	-54.0	182.0	Panel	6.0	15.82	62	250

The antenna Z-heights listed above are referenced to the Antenna Level and Verizon Equipment Level.

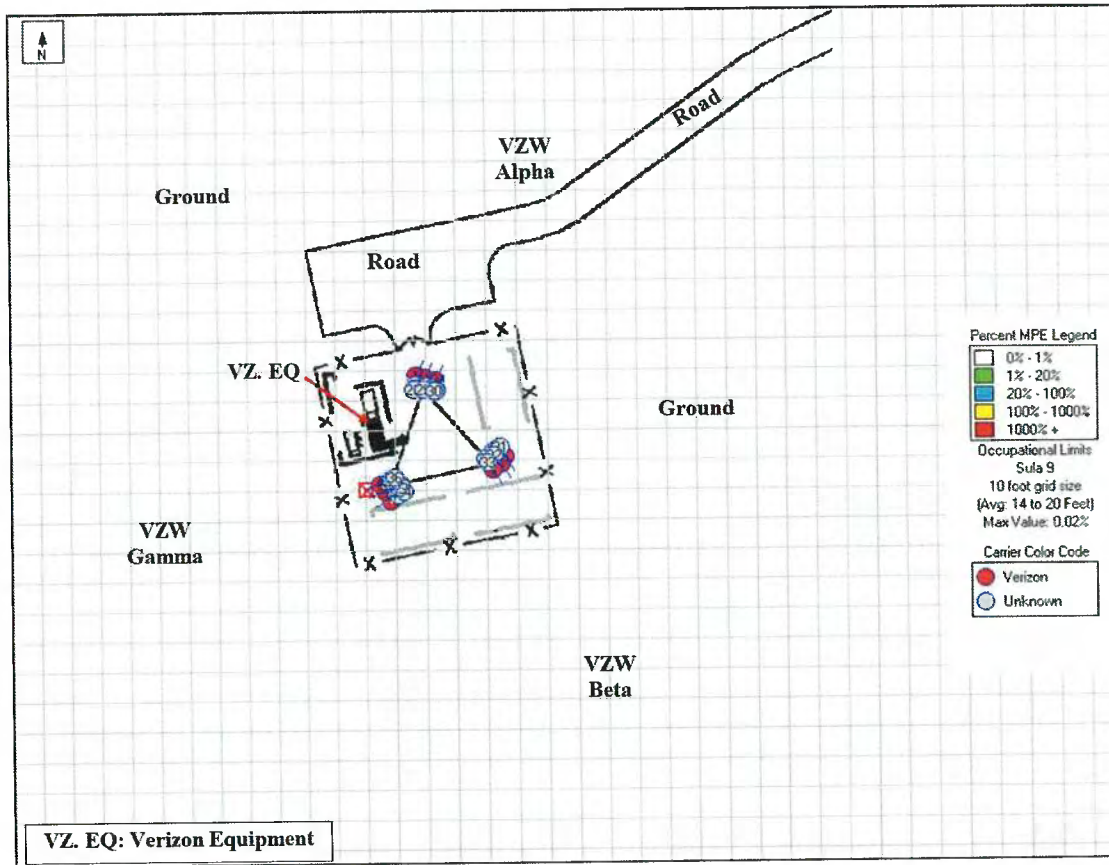
4.3 RF Emissions Diagram(s) - All Transmitters

The following Diagram(s) represent the theoretical spatially averaged Maximum Permissible Exposure (MPE) percentages that are expected for each study's elevation. An additional 1% Occupational MPE Limit (5% General Population MPE limit) is included to demonstrate where Verizon is a significant contributor to the accessible areas where multiple carriers' transmitters may be present.

Reference Plane: Antenna Level



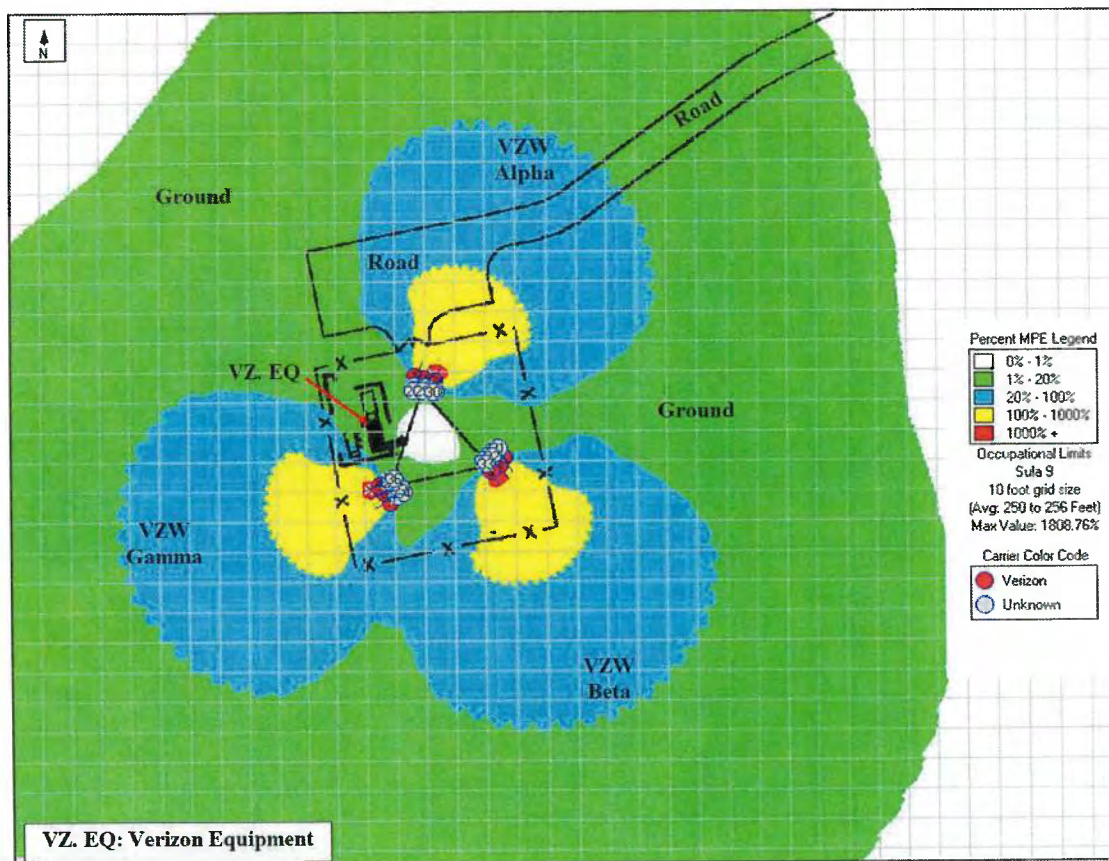
Reference Plane: Verizon Equipment Level



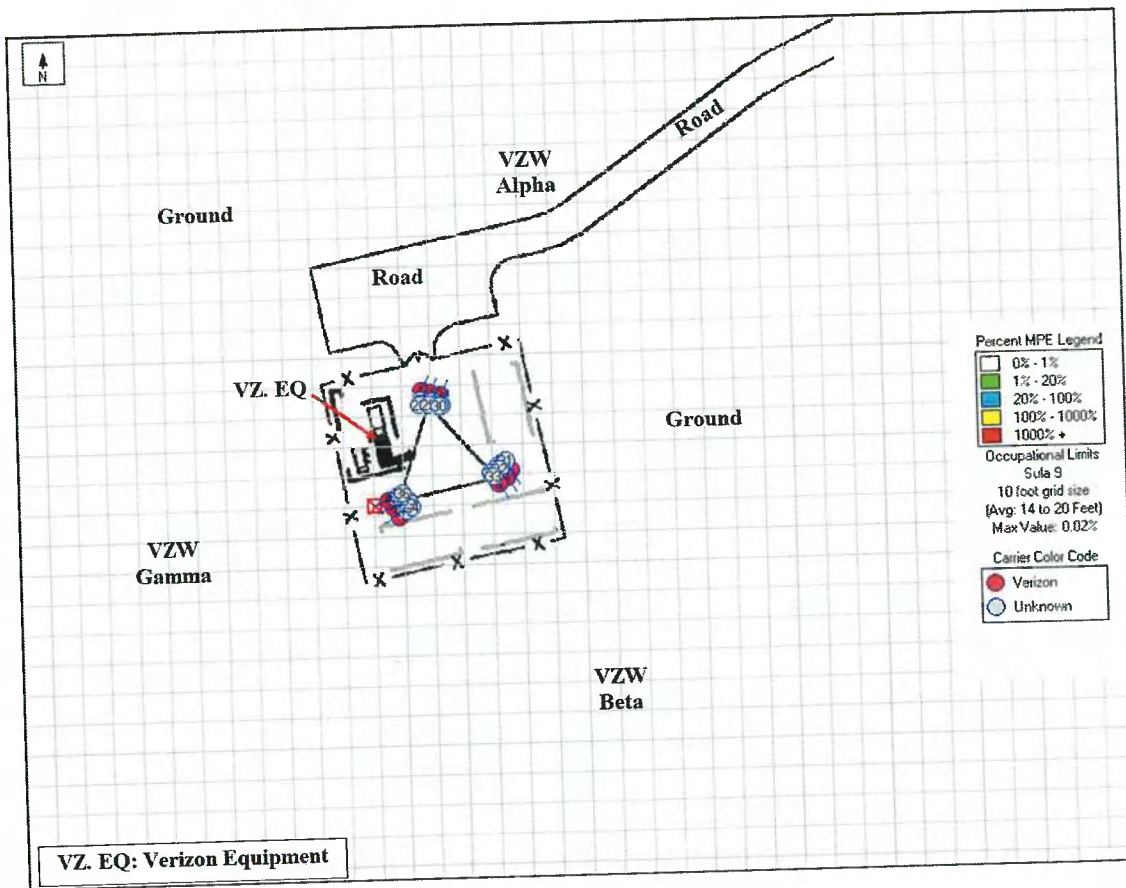
4.4 RF Emissions Diagram(s) - Verizon Transmitters *Only*

The following Diagram(s) represent the theoretical spatially averaged Maximum Permissible Exposure (MPE) percentages that are expected for each study's elevation. An additional 1% Occupational MPE Limit (5% General Population MPE limit) is included to demonstrate where Verizon is a significant contributor to the accessible areas where multiple carriers' transmitters may be present.

Reference Plane: Antenna Level









Reference Plane: Verizon Equipment Level



5 Signage/ Mitigation

5.1 Signage/ Barrier Detail

Final Compliant Configuration						
	GUIDELINES	NOTICE	CAUTION	WARNING	NOC INFO	BARRIER/MARKER
Access Point(s)	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/>
Alpha	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/>
Beta	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/>
Gamma	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/> []	<input type="checkbox"/>

NOTE: The table represents either the signage/barriers installed / removed OR items required by the market (if mitigation is not installed by consultant/vendor).

Specialty Sign Detail

Location	N/A
Access Point	N/A
Alpha	N/A
Beta	N/A
Gamma	N/A

NOTE: The tables above represent EXISTING compliance items implemented at this location.

Notes/ Additional Compliance Requirements(s):

This Site is Compliant.

Table 2: Mitigation Requirements for Compliance

5.2 Signage/ Barrier Diagram

N/A

6 Conclusions and Recommendations

- The results of the analysis indicate that the power density levels in the generally accessible areas on the **Antenna** Level will not exceed the FCC's MPE limit for General Population. Notice that the power density levels will exceed the FCC's MPE limit for General Population and Occupational in front of the antennas which it is not generally accessible area.
- The results of the analysis indicate that the power density levels in the generally accessible areas on the **Verizon Equipment** Level will not exceed the FCC's MPE limit for General Population.
- The max theoretical % MPE is **1808.76%** directly in front of the antennas beams at the Antenna Level. Notice that the power density levels will exceed the FCC's MPE limit for General Population and Occupational in front of the antennas which it is not generally accessible area.
- This site is Compliant no Mitigation is required.

Note: Modifications to the site; and/or increases in channel counts or power levels exceeding those listed in this report will require additional evaluation to determine compliance.

7 Appendix A: FCC Compliance and RF Safety Policies

In August of 1997, the FCC published OET Bulletin 65 Edition 97-01 to regulate methods for evaluating compliance with FCC guidelines for human exposure to radiofrequency (RF) electromagnetic fields. The FCC guidelines for human exposure to RF electromagnetic fields incorporate two categories of limits; namely "Controlled" (a.k.a. Occupational) and "Uncontrolled" (a.k.a. General Public). The guidelines offer suggested methods for evaluating fixed RF transmitters to ensure that the controlled and uncontrolled limits deemed safe by the FC for human exposure are not exceeded.

OET Bulletin 65 recommended guidelines are intended to allow an applicant to "make a reasonably quick determination as to whether a proposed facility is in compliance with the limits." In addition, the guidelines offer alternate supplementary considerations and procedures such as field measurements and more detailed analysis that should be used for multiple emitter situations.

These guidelines define RF as emissions in the frequency range of 300 kHz to 100 GHz. The FCC define Maximum Permissible Exposure (MPE) limits within this frequency range based on limits recommended by the National Council on Radiation Protection and Measurement, the Institute of Electrical and Electronics Engineers (IEEE), and by the American National Standards Institute (ANSI).

The specific MPE limits defined by the FCC are as follows:

Limits for Occupational/Controlled Exposure				
Frequency Range [MHz]	Electric Field Strength (E) [V/m]	Magnetic Field Strength (H) [A/m]	Power Density (S) [mW/Cm ²]	Averaging Time E ^2, H ^2 or S [minutes]
0.3 - 3.0	614	1.63	100*	6
3.0 - 30	1842/f	4.89/f	900/f ² *	6
30 - 300	61.4	0.163	1	6
300 - 1,500	-	-	f/300	6
1,500 - 100,000	-	-	5	6





Limits for General Population/Uncontrolled Exposure				
Frequency Range [MHz]	Electric Field Strength (E) [V/m]	Magnetic Field Strength (H) [A/m]	Power Density (S) [mW/Cm ²]	Averaging Time E ^2, H ^2 or S [minutes]
0.3 - 3.0	614	1.63	100*	30
3.0 - 30	842/f	2.19/f	180/f ² *	30
30 - 300	27.5	0.073	0.2	30
300 - 1,500	-	-	f/1500	30
1,500 - 100,000	-	-	1	30


f = frequency

*Plane-wave equivalent power density

The FCC states that "Occupational/ Controlled limits apply in situations in which persons are exposed as a consequence of their employment provided those persons are fully aware of the potential for exposure and can exercise control over their exposure. Limits for Occupational/ Controlled exposure also apply in situations when an individual is transient through a location where Occupational/ Controlled limits apply provided he or she is made aware of the potential for exposure."

For purposes of this analysis, all limits are evaluated against the Power Density limits.

GUIDELINES	NOTICE	CAUTION	WARNING
This sign will inform anyone of the basic precautions to follow when entering an area with transmitting radiofrequency equipment.	This sign indicates that RF emissions may exceed the FCC General Population MPE limit.	This sign indicates that RF emissions may exceed the FCC Occupational MPE limit.	This sign indicates that RF emissions may exceed at least 10x the FCC Occupational MPE limit.
			

<p align="center">NOC INFORMATION</p> <p>Information signs are used as a means to provide contact information for any questions or concerns. They will include specific cell site identification information and the Verizon Wireless Network Operations Center phone number.</p>	 <p>The image shows a sample of the information sign. It has a green header with the word 'INFORMATION' in white. Below the header, it states: 'This is an ACCESS POINT to an area with transmitting antennas.' followed by 'This equipment and services are used to provide information and data services to mobile customers.' At the bottom, there are fields for 'SERIES', 'LOCATION', and 'SITE ID', each followed by a line for handwritten entry. The Verizon logo is at the bottom right.</p>
--	--

No sign required: <20% of Occupational MPE
Blue Sign, Notice: 20% to <100% of MPE
Yellow Sign, Caution: 100% to <1000% of MPE
Red Sign, Warning: ≥1000% of MPE

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8 Appendix B: Overview of RoofMaster® Functions and Assumptions

RoofMaster® is a RF Compliance software package designed to enable the analysis, assessment and mitigation of communications sites with respect to human exposure to radiofrequency electromagnetic fields.

RoofMaster® was developed in 2008 by Waterford Consultants to support compliance assessments performed at single and multi-operator wireless locations throughout North America and has been in service since 2008. Real-world experience in evaluating thousands of base station installations is reflected in the RoofMaster® design approach. This document provides a guide for creating simulations of RF hazard conditions through the characterization of antenna systems and site features and through FCC-specified computational analysis.

On any structure, one may encounter antennas installed by wireless service providers, public safety and other FCC-licensed and unlicensed operators. Siting constraints have resulted in diverse and complex environments accessible to people performing a variety of activities around these antennas. RoofMaster® supports the characterization of these locations to convey important information regarding RF sources and accessible areas necessary to evaluate the potential for human exposure to hazardous levels of RF energy.

RoofMaster® supports the depiction of communications sites through the display of construction drawing or aerial photography image files as well as providing line drawing tools. These representations are scalable to enable the modeling of any location.

RoofMaster® utilizes a three-dimensional spatial framework consisting of a 1000 x 1000 grid with unlimited vertical dimensions necessary for the positioning of antennas and modeling of RF conditions at each grid point throughout the space. Predictive analysis is performed on a study plane at a specified elevation. The subsequent sections of this guide provide the steps necessary to create a site representation and conduct these studies.

RoofMaster® employs several power density prediction models based on the computational approaches set forth in the Federal Communications Commission's Evaluating Compliance with FCC Guidelines for Human Exposure to Radiofrequency Electromagnetic Fields, OET Bulletin 65. This guideline utilizes several antenna and operational parameters in calculating the power density contributions from each emitter at specified points throughout the study space. RoofMaster® enables antennas to be fully defined in site specific aspects as well as through the use of a library of manufacturer data. The parameters include:

- § Antenna model
- § Radiation patterns
- § Aperture length
- § Gain
- § Beamwidth
- § Antenna radiation center
- § Azimuth
- § Mechanical downtilt
- § Location
- § Frequency
- § Power into antenna

In OET-65, the Cylindrical Model is presented as an approach to determine the spatially averaged power density in the near field directly in front of an antenna. In order to implement this model in all directions, RoofMaster® utilizes the antenna manufacturer horizontal pattern data. Additionally, RoofMaster® incorporates factors that reduce the power density by the inverse square of horizontal and vertical distance beyond the near field region.

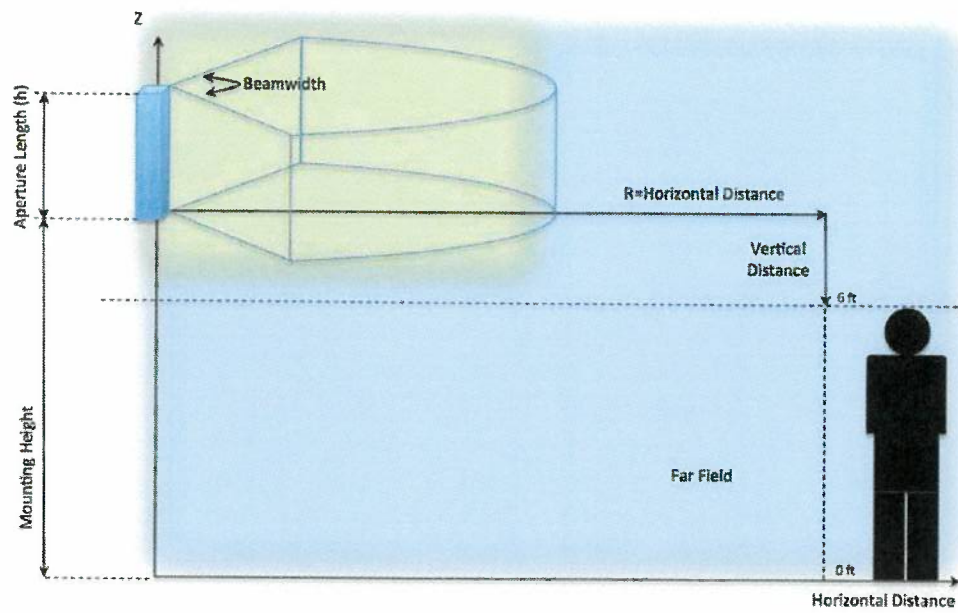
Power density is calculated as follows:

$$S = \left(\left(\frac{360}{\text{Beamwidth}} \right) \frac{P_{in} G_H H_r V_r}{2 \pi R h} \right) \frac{\mu W}{cm^2}$$

- S is the spatially averaged power density value
- R is the horizontal distance meters to the study point
- h is the aperture length in meters
- P_{in} is power into the antenna input port in Watts

RoofMaster® Implementation:

- G_H is gain offset to study point as specified in manufacturer horizontal pattern
- P_{in} is adjusted by the portion of the antenna aperture in the 0-6 ft. vertical study zone
- H_r accounts for 1/R² Far Field roll off which starts at 2*h
- V_r accounts for 1/ (vertical distance)² roll off from antenna bottom to the top of the 0-6 ft. study zone (or antenna top to bottom of 0-6 ft. study zone)



9 References

FCC (1997). “Evaluating Compliance with FCC Guidelines for Human Exposure to Radiofrequency Electromagnetic Fields”; Federal Communications Commission; Office of Engineering and Technology, OET Bulletin 65, Edition 97-01, August.

Waterford Consultants, LLC (2008). RoofMaster® User Guide, Waterford Consultants, LLC.

10 Limited Warranty

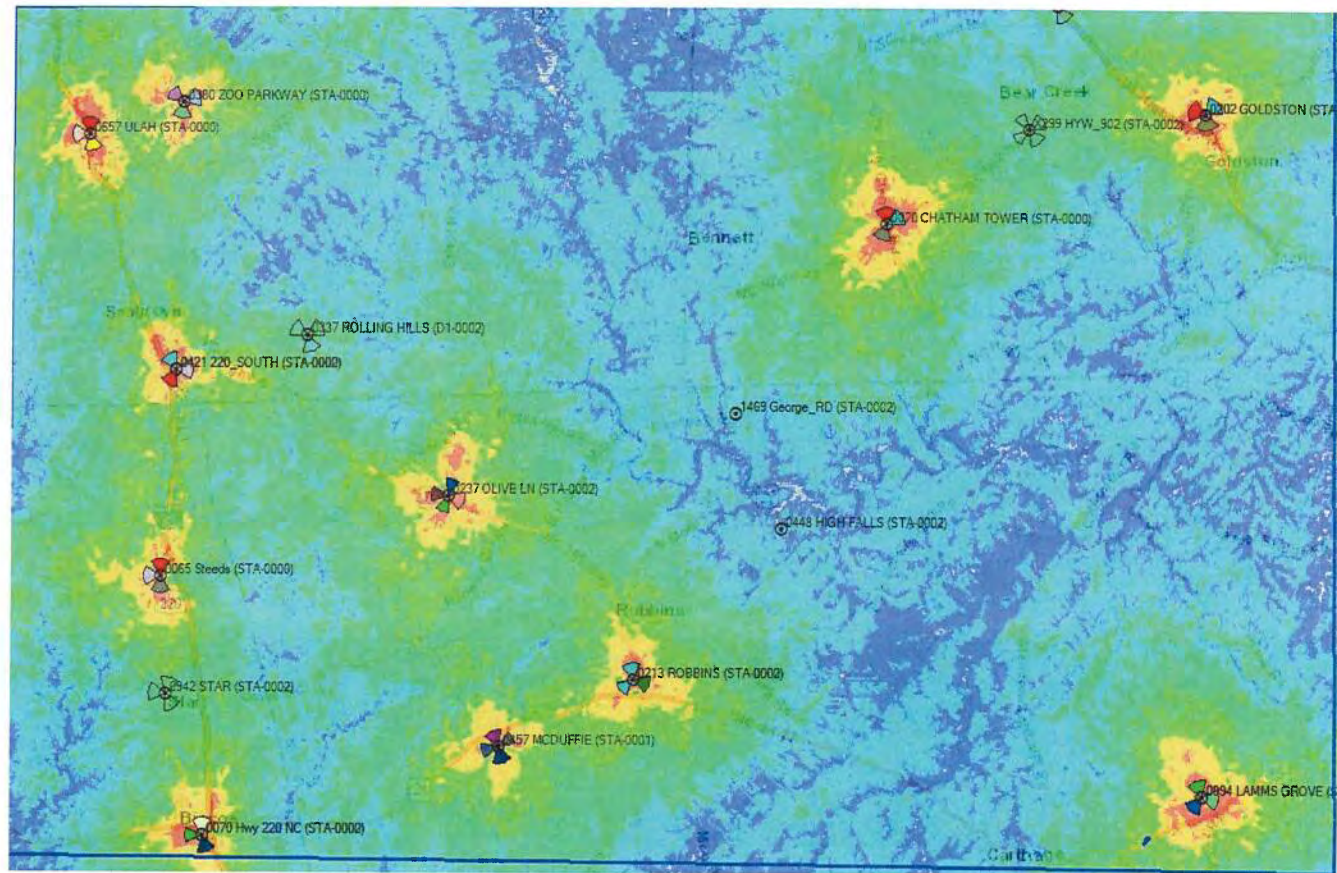
Pramira, Inc. warrants that this analysis was performed in good faith using the methodologies and assumptions covered in this report and that data used for the analysis and report were obtained by Pramira, Inc. employees or representatives via site surveys or research of Verizon's available information. In the event that specific third-party details were not available, best efforts were made to use assumptions that are based on industry experience of various carriers' standards without violating any confidential information obtained under non-disclosure terms.

Pramira, Inc. also warrants that this analysis was performed in accordance with industry acceptable standards and methods.

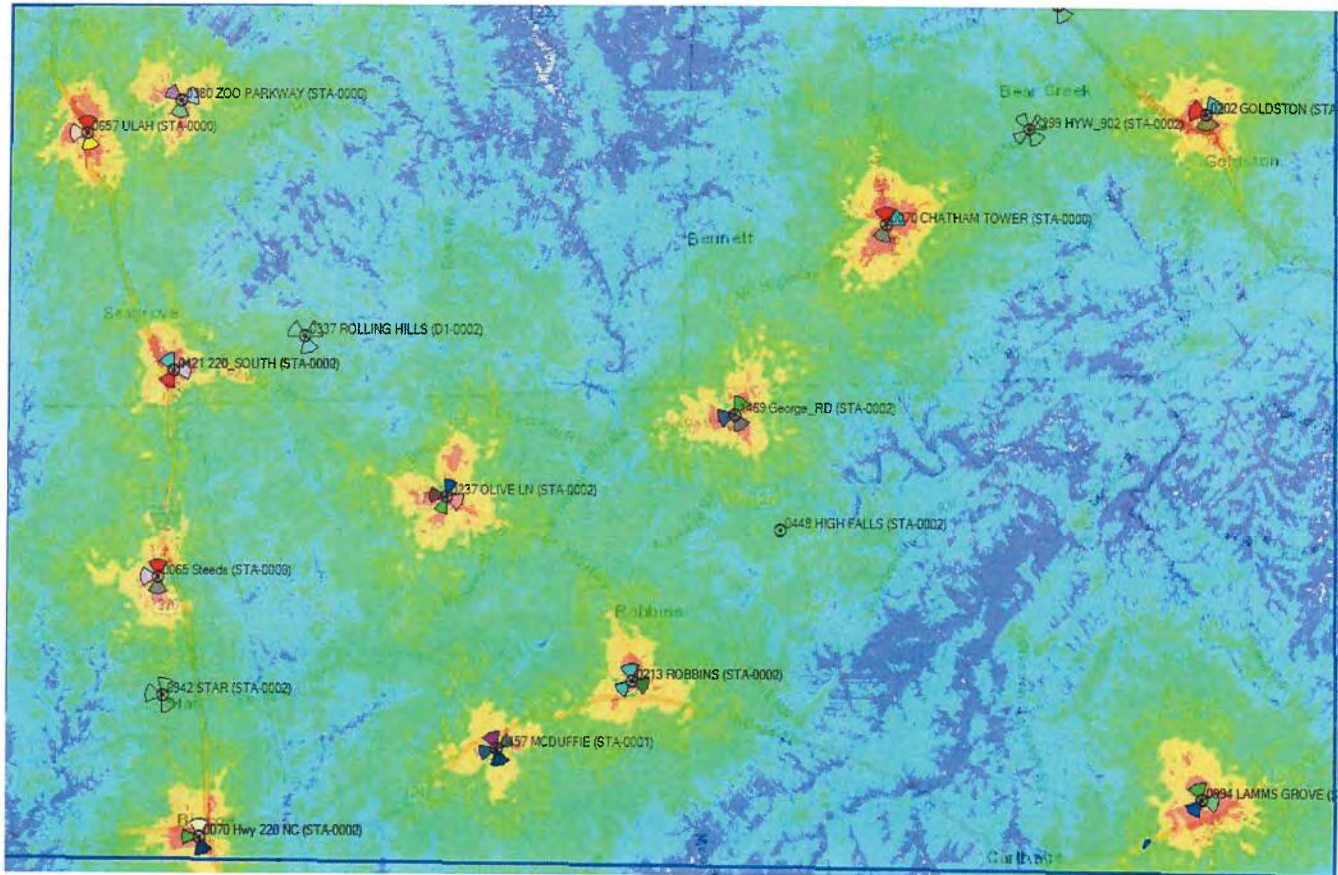
There are no other warranties, express or implied, including but not limited to, the implied warranties of merchantability and fitness for a particular purpose, relating to this agreement or to the services rendered by Pramira hereunder. In no event shall Pramira be held liable to Verizon, or to any third party, for any indirect, special, incidental, or consequential damages, including but not limited to loss of profits, loss of data, loss of good will, and increased expenses. In no event shall Pramira be liable to Verizon for damages, whether based in contract, tort, negligence, strict liability, or otherwise, exceeding the amount payable hereunder for the services giving rise to such liability.

RSRP Plots George Rd

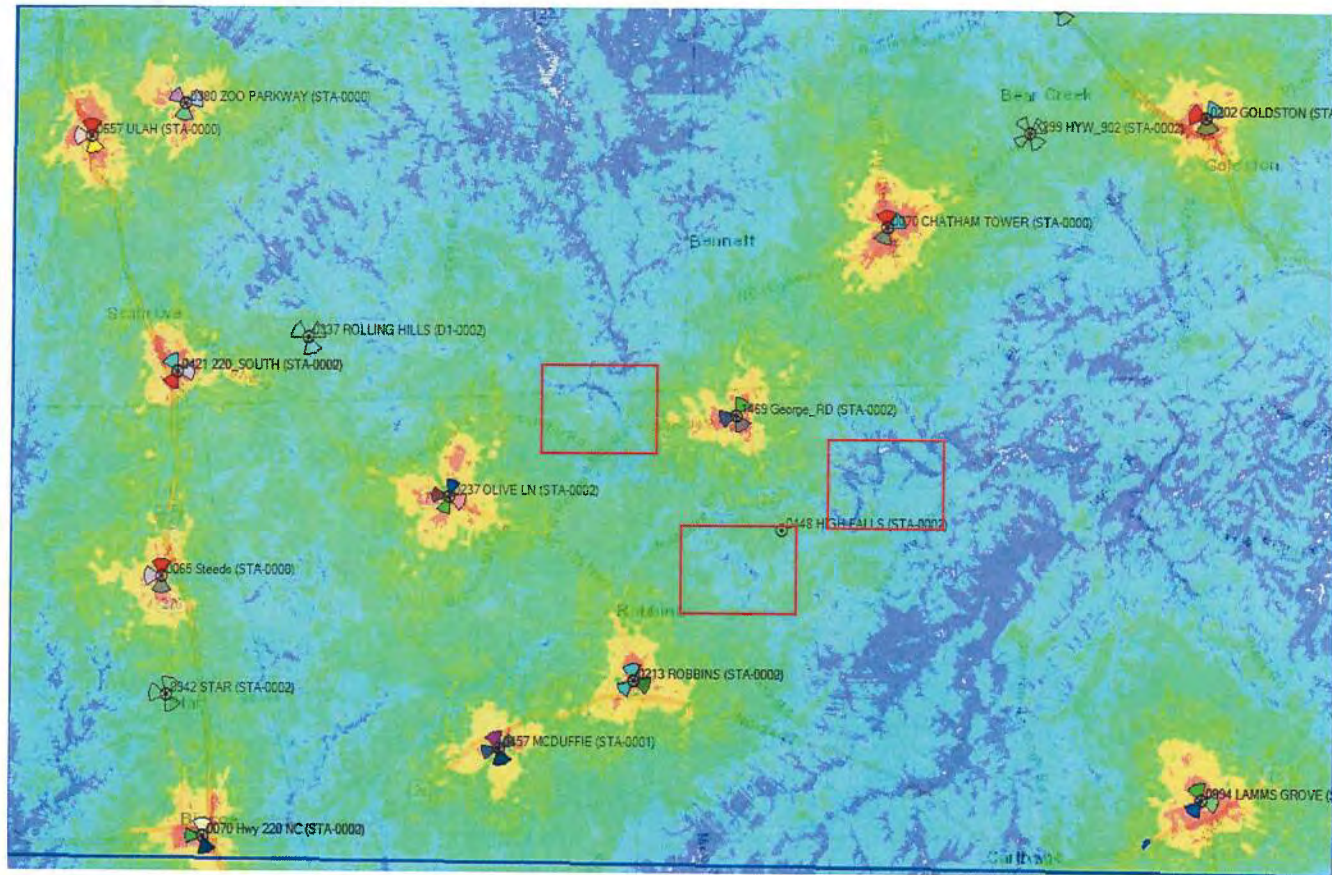
Pre RSRP



RSRP with CL 250'



RSRP with CL 195'



K:\ATL_Wireless\000_Verizon\2021 Sites\George_RD\CAD\08\08\ECor-GB.dwg 05/31/22 11:29 AM by: christopher.strange



8921 RESEARCH DRIVE
CHARLOTTE, NC 28262

GEORGE_RD

SITE ADDRESS (E-911 TBD)

NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY
LATITUDE: 35° 30' 20.71" N
LONGITUDE: 79° 31' 56.12" W
TAX/PIN #: 864300099495
ZONING: RA

MOORE COUNTY SHERIFF
302 S McNEILL ST
CARTHAGE, NC 28327
PHONE: (910) 947-2931
ATTN.: CUSTOMER SERVICE

BENNETT VOLUNTEER FIRE DEPARTMENT
55 E RALEIGH ST
BENNETT, NC 27208
PHONE: (336) 581-3333
ATTN.: CUSTOMER SERVICE



FROM CHARLOTTE OFFICE: TAKE RESEARCH DR TO W W.T.HARRIS BLVD 0.5MI; FOLLOW I-85 N TO LN ST IN CABARRUS COUNTY. TAKE EXIT 63 FROM I-85 N 18.4MI; TAKE OLD BEATTY FORD RD TO NC-49 N/NC-8 N IN STANLY COUNTY 22.8MI; CONTINUE ON NC-49 N. DRIVE TO NC-42 E IN RANDOLPH COUNTY. EXIT FROM US-64 BYP 30.8MI; DRIVE TO NC-22 S/ NC-42 E; CONTINUE TO FOLLOW NC-22 S; DESTINATION WILL BE ON THE RIGHT 11MI.

DRIVING DIRECTIONS

JURISDICTION:
MOORE COUNTY

STATE:
NORTH CAROLINA

TOWER TYPE:
SELF-SUPPORT TOWER

TOWER HEIGHT:
255' (259' TO HIGHEST APPURTENANCE)

NUMBER OF CARRIERS:
0 EXISTING, 1 PROPOSED

USE:
PROPOSED TELECOMMUNICATIONS TOWER
AND UNMANNED EQUIPMENT

FLOOD INFO
SITE IS LOCATED WITHIN FEMA FLOOD MAP
AREA 3710864200J DATED 10/17/2006 WITHIN
FLOOD ZONE X.

PROJECT SUMMARY

DEVELOPER
VERIZON WIRELESS
8921 RESEARCH DRIVE
CHARLOTTE, NC 28262
PHONE: (704) 577-8785
ATTN: MICHAEL HAVEN

POWER COMPANY
RANDOLPH COMMUNICATIONS MEMBERSHIP CORP.
PHONE: (910) 464-3111
ATTN.: CUSTOMER SERVICE

PROPERTY OWNER
CAROLYN K. RIMMER & CHELSEY L. RIMMER
424 HIGHWAY 22
BENNETT, NC 27208
PHONE: (910) 879-5684
ATTN.: CAROLYN RIMMER

CONSULTANT
KIMLEY-HORN AND ASSOCIATES, INC.
11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GEORGIA 30009
PHONE: (770) 545-6105
ATTN.: DAVID FRANKLIN

CONTACTS

SHEET NO.	SHEET TITLE
T1	COVER SHEET
T2	APPENDIX B - BUILDING CODE SUMMARY
--	SITE SURVEY (SHEET 1 OF 3)
--	SITE SURVEY (SHEET 2 OF 3)
--	SITE SURVEY (SHEET 3 OF 3)
N1	GENERAL NOTES
C0	OVERALL PARCEL PLAN
C1	OVERALL SITE PLAN
C2	SITE PLAN
C3	EQUIPMENT PAD LAYOUT
C4	EQUIPMENT RACK DETAIL - FRONT
C5	EQUIPMENT RACK DETAIL - REAR
C6	CONCRETE PAD FOUNDATION DETAILS
C7	FENCE, GATE, AND COMPOUND DETAILS
C8	GRADING AND EROSION CONTROL PLAN
C8.1	GRADING AND EROSION CONTROL PLAN
C8.2	GRADING AND EROSION CONTROL PLAN
C9	GRADING AND EROSION CONTROL DETAILS
C10	ACCESS ROAD DETAILS
C11	SITE SIGNAGE DETAILS
C12	WAVEGUIDE BRIDGE DETAILS
C13	ANTENNA AND TOWER ELEVATION DETAILS
E1	ELECTRICAL NOTES
E2	UTILITY SERVICE ROUTING PLAN
E3	OVERALL UTILITY ROUTING PLAN
E4	METER RACK DETAILS - FRONT
E4.1	METER RACK DETAILS - REAR
E5	ELECTRICAL SINGLE LINE DIAGRAM
E5.1	ELECTRICAL SINGLE LINE DIAGRAM
E6	PANEL SCHEDULE
E7	ELECTRICAL DETAILS
E8	GROUNDING NOTES
E9	GROUNDING PLAN
E10	GROUNDING SINGLE LINE DIAGRAM
E11	GROUNDING DETAILS
E12	GROUNDING DETAILS

SHEET INDEX

MOORE COUNTY DEPARTMENT OF BUILDING SAFETY AND CODE
1048 CARRIAGE OAKS DRIVE
CARTHAGE, NC 28327
PHONE: (910) 947-2221
ATTN.: CHARLES (CHUCK) HILL

PERMIT INFORMATION



8921 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
GEORGE_RD
SITE No.: 696361
PROJECT #: 15160919
NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:



11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

REV: DATE: ISSUED FOR: BY:

8			
7			
6			
5			
4			
3			
2			
1	05/31/22	CONSTRUCTION	DMF
0	11/05/21	CONSTRUCTION	DMF

LICENSER:



KHA PROJECT NUMBER:

013509351

DRAWN BY: CHECKED BY:

JAR

CDS

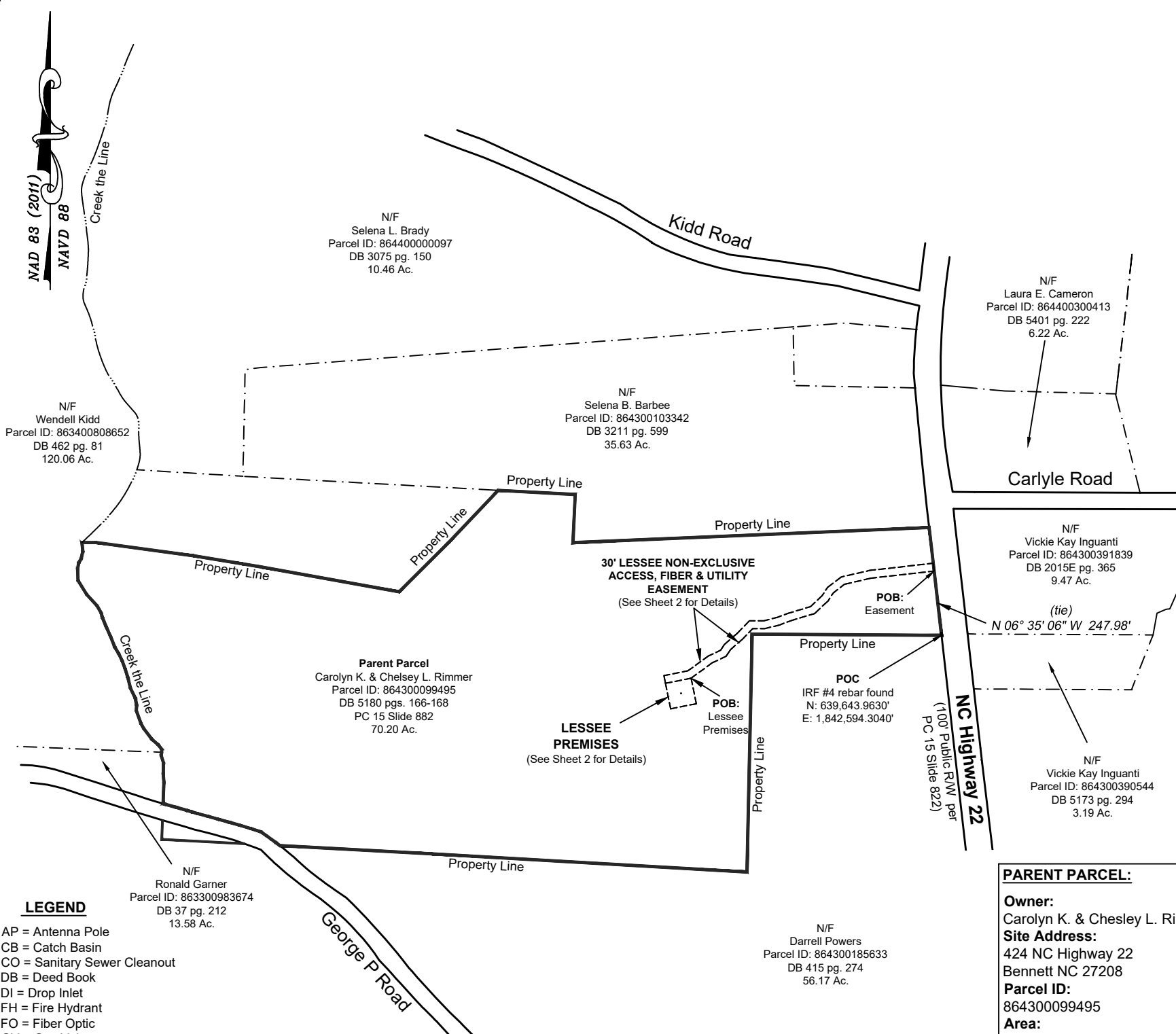
SHEET TITLE:

COVER SHEET

SHEET NUMBER:

T1

Copyright Kimley-Horn and Associates, Inc., 2021



- LEGEND**
- AP = Antenna Pole
CB = Catch Basin
CO = Sanitary Sewer Cleanout
DB = Deed Book
DI = Drop Inlet
FH = Fire Hydrant
FO = Fiber Optic
GV = Gas Valve
GW = Guy Wire
HH = Handhole
IPF = Iron Pipe Found
IRF = Iron Rebar Found (#4 rebar)
LP = Light Pole
MB = Miscellaneous Book
MON = 4"x4" Concrete R/W Monument
PC = Plat Cabinet
PG = Page
PKF = PK Nail Found
POB = Point of Beginning
POC = Point of Commencement
R/W = Right-of-Way
TBM = Temporary Benchmark
TP = Telephone Pedestal
UP = Utility Pole
WM = Water Meter
WV = Water Valve



COPYRIGHT © 2021
SUMMIT
DESIGN AND ENGINEERING

DRAWING ALTERATION

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.



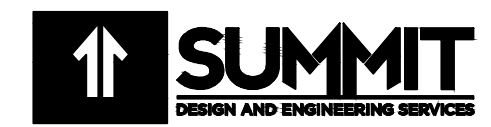
REVISIONS					
No.	DATE	DESCRIPTION	BY	CHK	APP

SPECIFIC PURPOSE SURVEY:

George_RD

NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

DATE OF SURVEY: SEPTEMBER 2nd, 2021



Creatively Inspired - Technically Executed

License: # P-0339
320 Executive Court
Hillsborough, NC 27278
Voice: (919) 732-3883 Fax: (919) 732-6676
www.summitde.net

SPECIFIC PURPOSE SURVEY

TOWER LESSEE PREMISES SITE SHEET 1 OF 3

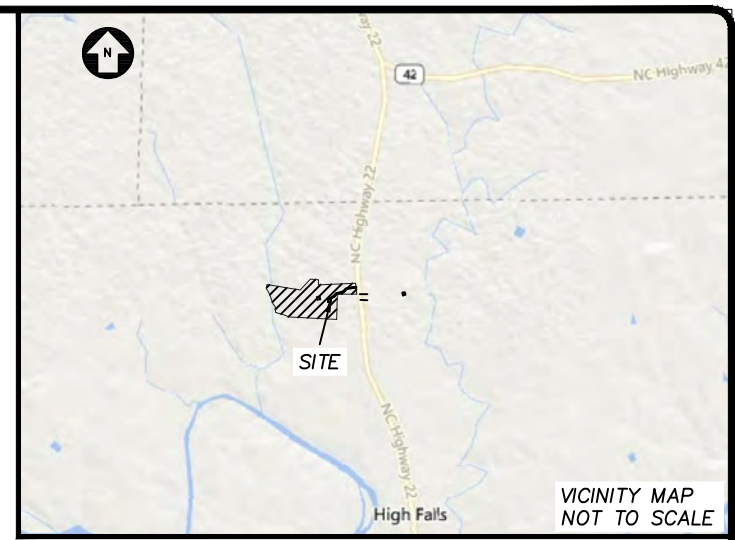
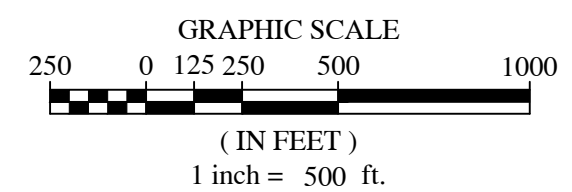
(Not Valid without all Sheets)

GENERAL NOTES

1. This Specific Purpose Survey is for the Lessee Premises and Easements Only. This Specific Purpose Survey was prepared for the exclusive use of Verizon Wireless and exclusively for the transferal of the Lessee Premises and the Rights of Easement shown hereon and shall not be used as an exhibit or evidence in the fee simple transferal of the Parent Parcel nor any portion or portions thereof. Boundary information shown hereon has been compiled from tax maps and deed descriptions only. No boundary survey of the Parent Parcel was performed.
2. This drawing does not represent a boundary survey.
3. The Specific Purpose Survey was prepared without benefit of a title report which may reveal additional conveyances, easements, or rights-of-way not shown hereon.
4. Survey equipment used for angular & linear measurements: Trimble S5 Robotic Total Station.
5. The 1' contours and spot elevations shown on the Specific Purpose Survey are adjusted to NAVD 88 Datum (computed using GEOID 18) and have a vertical accuracy of +/- 0.5'. Contours outside the immediate site area are approximate.
6. Bearings shown on this Specific Purpose Survey are based on Grid North (NAD83).
7. Per FEMA Floodplain Maps, this site is located in an area designated as Zone X (Areas of Minimal Flood Hazard). Community Panel #: 8642
8. No wetland areas have been investigated by this Specific Purpose Survey.
9. All zoning information should be verified with Moore County Zoning Officials.
10. Any underground utilities shown have been located from above ground field survey information. The Surveyor makes no guarantees that any underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The Surveyor further does not warrant that any underground utilities shown are in the exact location indicated although they are located as accurately as possible from information available. The Surveyor has not physically located and underground utilities.

POSITIONAL ACCURACY:

Class of Survey: Class "A"
Positional Accuracy: <0.10'
GPS Procedure: NCGS Network RTK using a Trimble SPS985 GPS Rover with TSC3 Controller
Datum/Epoch: NAD83 (NSRS2011) / NAVD 88
Public/Fixed Control: NC VRS Network
Geoid Model: Geoid18 (CONUS)
Combined Grid Factor: 0.99988238
Units: US Survey Feet
Date of Survey: September 2nd, 2021



SURVEYOR'S CERTIFICATION:

I, Neal H. O'Connor, Jr., do hereby certify that this map was drawn under my supervision from an actual GPS/conventional field survey made under my supervision, and accurately depicts the locations of this site as surveyed in the field and is not intended to represent a Boundary Survey of the Property or Properties shown hereon. This survey is not for Recordation purposes.

Neal H. O'Connor, Jr. October 5th, 2021

Neal H. O'Connor, Jr. Date
NCPLS # L-4005



LINETYPE LEGEND

- - - - - = Lessee & 30' Easement Line
- . - . - = Parcel Line
- o - o - = Fence Line
- - - - - = Curb & Gutter
- - - - - = Fiber Optic Line
- - - - - = Right of Way Line
- - - - - = Overhead Electric Power Line
- - - - - = Branch Line (Property)

HATCH LEGEND

- [Stippled Pattern] = Concrete
- [Cross-hatched Pattern] = Brick Walkway
- [Dotted Pattern] = Grass
- [Grid Pattern] = Wall

NAD 83 (2011)
NAD 88

Parent Parcel
Carolyn K. & Chelsey L. Rimmer
Parcel ID: 864300099495
DB 5180 pgs. 166-168
PC 15 Slide 882
70.20 Ac.

30' LESSEE
NON-EXCLUSIVE
ACCESS, FIBER
& UTILITY
EASEMENT

5' WIDE TEMPORARY CONSTRUCTION
EASEMENT ALONG LESSEE PREMISES
AND 30' LESSEE NON-EXCLUSIVE
ACCESS, FIBER & UTILITY EASEMENT,
AS SHOWN

TBM
Top of 1/2" Rebar
Elevation: 419.05'

LESSEE PREMISES
(Rights to be acquired)

5' WIDE TEMPORARY
CONSTRUCTION EASEMENT
ALONG LESSEE PREMISES
AND 30' LESSEE
NON-EXCLUSIVE ACCESS,
FIBER & UTILITY EASEMENT,
AS SHOWN

Parent Parcel
Carolyn K. & Chelsey L. Rimmer
Parcel ID: 864300099495
DB 5180 pgs. 166-168
PC 15 Slide 882
70.20 Ac.

Parent Parcel
Carolyn K. & Chelsey L. Rimmer
Parcel ID: 864300099495
DB 5180 pgs. 166-168
PC 15 Slide 882
70.20 Ac.

N/F
Darrell Powers
Parcel ID: 8643-00-18-5633
DB 415 pg. 274
56.17 Ac.

POC
IRF #4 rebar found
N: 639,643.9630'
E: 1,842,594.3040'

LINETYPE LEGEND

— = Right of Way Line
- - - = Lessee & 30' Easement Line
- . - . = Parcel Line
- . . . = Temporary Construction Esmt.
- o - o - = Fence Line
- - - = Curb & Gutter
- - - = Fiber Optic Line
- - - = Water Line
- - - = Overhead Electric Power Line
- - - = Underground Electric Line
o = Calculated Point
~ ~ ~ = Edge of Wood Line

N/F
Vickie Kay Inguanti
Parcel ID: 864300391839
DB 2015E pg. 365
9.47 Ac.

N/F
Vickie Kay Inguanti
Parcel ID: 864300390544
DB 5173 pg. 294
3.19 Ac.

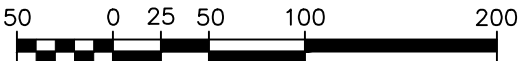
NC 22 HWY
(100' Public R/W, per
PC 15 Slide 822)

LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S52°46'44"W	52.78'
L2	S33°08'03"W	37.95'
L3	S46°57'56"W	70.71'
L4	S73°13'00"W	93.23'
L5	S69°28'27"W	47.25'
L6	S75°39'01"W	58.92'
L7	N90°00'00"W	46.41'
L8	S44°16'56"W	55.28'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L9	S48°54'02"W	62.31'
L10	S33°07'34"W	30.29'
L11	S64°40'53"W	58.47'
L12	N11°17'48"W	30.00'
L13	N64°40'53"E	52.99'
L14	N33°07'34"E	25.96'
L15	N48°54'02"E	65.26'
L16	N44°16'56"E	66.72'

LINE TABLE		
LINE #	DIRECTION	LENGTH
L17	N90°00'00"E	55.28'
L18	N75°39'01"E	53.53'
L19	N69°28'27"E	45.17'
L20	N73°09'34"E	88.64'
L21	N46°58'06"E	60.07'
L22	N33°08'03"E	39.52'
L23	N52°46'44"E	64.41'
L24	S06°35'06"E	30.00'

GRAPHIC SCALE



(IN FEET)

1 inch = 100 ft.

LEGEND

AP = Antenna Pole
CB = Catch Basin
CPP = Corrugated Plastic Pipe
DB = Deed Book
DI = Drop Inlet
FH = Fire Hydrant
FO = Fiber Optic
GV = Gas Valve
GW = Guy Wire
HH = Handhole
IPF = Iron Pipe Found
IRF = Iron Rebar Found (#4 rebar)
LP = Light Pole
MB = Miscellaneous Book
MON = 4"x4" Concrete R/W Monument
PB = Plat Book
PG = Page
PKF = PK Nail Found
POB = Point of Beginning
POC = Point of Commencement
R/W = Right-of-Way
TBM = Temporary Benchmark
TP = Telephone Pedestal
UP = Utility Pole
WM = Water Meter
WV = Water Valve

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LAND SURVEYOR TO ALTER ANY ITEM ON
THIS DOCUMENT IN ANY WAY. ANY LICENSEE
WHO ALTERS THIS DOCUMENT IS REQUIRED
BY LAW TO AFFIX HIS OR HER SEAL AND THE
NOTATION "ALTERED BY" FOLLOWED BY HIS
OR HER SIGNATURE AND SPECIFIC
DESCRIPTION OF THE ALTERATIONS.

PREPARED FOR



Kimley»Horn

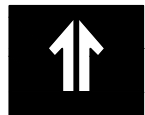
REVISIONS

No.	DATE	DESCRIPTION	BY	CHK	APP

SPECIFIC PURPOSE SURVEY:

George_RD
NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

DATE OF SURVEY: SEPTEMBER 2nd, 2021



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SPECIFIC PURPOSE SURVEY

TOWER LESSEE
PREMISES SITE
SHEET 2 OF 3

(Not Valid without all Sheets)

SITE INFORMATION:

Lessee Premises:
10,000 Square Feet (0.230 Acres)
Latitude at center of Premises:
N 35° 30' 20.7068"(NAD83)(35.505752)
Longitude at center of Premises:
W 79° 31' 56.122"(NAD83)(-79.532256)
Elevation at center of Premises:
411.85' A.M.S.L.

TITLE EXCEPTIONS:
This survey was made with the aid of Title work prepared by Fidelity National Title Insurance Company, issue date of 09/3/2021, examined from 03/15/1898 to 08/04/2021, being File No.66717–NC2011–5013 Reference No. 250511000083, for the Parent Parcel to determine the impacts of existing title exceptions listed below:

1. Taxes

[This Item is not a matter of surveying.]

2. Easement in favor of Randolph Telephone Membership Corporation, a corporation set forth in instrument recorded on September 29, 1994 in Deed Book 01035, Page 00060.

[This Item is Not–Applicable to the Parent Parcel, the Lease Area and Access Easement, location of easement is not defined and is blanket in nature.]

3. Matters as shown and noted on Plat recorded in Plat Book 15, Page 822.

[This Item is Applicable to the Parent Parcel, the Lease Area and Access Easement as shown hereon.]

4. Deed of Trust from Carolyn K. Rimmer and Chesley L. Rimmer, Grantor(s), to WJ Kellam, Jr., Trustee(s), in favor of U.S. Bank National Association, dated August 9, 2019, and recorded August 19, 2019 in Deed Book 5180, Page 169, in the original amount of \$79,000.00.

[This Item is Applicable to the Parent Parcel, the Lease Area and Access Easement, it is the Deed of Trust for the Parent Parcel and is shown hereon.]

SITE INFORMATION:

Lessee Premises:
10,000 Square Feet (0.230 Acres)
Latitude at center of Premises:
N 35° 30' 20.7068"(NAD83)(35.505752)
Longitude at center of Premises:
W 79° 31' 56.122"(NAD83)(-79.532256)

Elevation at center of Premises:
411.85' A.M.S.L.

PARENT PARCEL

Property located in the Town of Bennett, Moore County, North Carolina.

All that certain piece, parcel or tract of land lying and being situated on the west–side of NC Highway 22, 0.02 miles south of the intersection with Carlyle Road and being in the Town of Bennett, Ritter Township, Moore County, North Carolina, containing seventy and 20/100 Acres (70.20 Acres), more or less, and being the same property conveyed to Carolyn K. & Chelsey L. Ritter by Deed Book 5180 pages 166–168, dated August 19th, 2019 and recorded in the Moore County Register of Deeds.

TAX PARCEL ID: 864300099495

LESSEE PREMISES

All that certain piece, parcel or tract of land lying and being the same property conveyed to Carolyn K. & Chelsey L. Ritter by Deed Book 5180 pages 166–168, dated August 19th, 2019 and recorded in the Moore County Register of Deeds and being more particularly described as follows:

To find the Point of Beginning, Commencing at an existing #4 rebar found on the western Right of Way of NC Highway 22 (having a Public Right of Way of 100') at the southeastern corner of said Carolyn K. & Chelsey L. Ritter and the property of Darrell Powers as described in Deed Book 415 page 274 and recorded in the Moore County Resister of Deeds, having a North Carolina Grid North (NAD83) value of N 639,643.9630 and E 1,842,594.3040 and labeled the POINT OF COMMENCEMENT; thence with a tie–line along said Right of Way N 06° 35' 06" W 247.98 feet to a point being the Point of Beginning for the 30–foot wide Lessee Non–Exclusive Access, Fiber & Utility Easement; thence leaving said Right of Way S 83° 32' 46" W 243.60 feet to a point; thence S 76° 58' 22" W 104.56 feet to a point; thence S 52° 46' 44" W 52.78 feet to a point; thence S 33° 08' 03" W 37.95 feet to a point; thence S 46° 57' 56" W 70.71 feet to a point; thence S 73° 13' 00" W 93.23 feet to a point; thence S 69° 28' 27" W 47.25 feet to a point; thence S 75° 39' 01" W 58.92 feet to a point; thence N 90° 00' 00" W 46.41 feet to a point; thence S 44° 16' 56" W 55.28 feet to a point; thence S 48° 54' 02" W 62.31 feet to a point; thence S 33° 07' 34" W 30.29 feet to a point; thence S 64° 40' 53" W 58.47 feet to a point; thence S 54° 06' 22" W 100.21 feet to a point being the TRUE POINT OF BEGINNING for the Lessee Premises; thence S 11° 17' 48" E 100.00 feet to a point; thence S 78° 42' 12" W 100.00 feet to a point; thence N 11° 17' 48" W 100.00 feet to a point; thence N 78° 42' 12" E 100.00 feet to the POINT OF BEGINNING.

Bearings based on North Carolina Grid North, NAD83.

Said described parcel containing 0.230 Acres (10,000.00 square feet), more or less and subject to any and all easements, reservations, restrictions and conveyances of record, being shown hereon for Verizon Wireless.

30' LESSEE NON-EXCLUSIVE ACCESS, FIBER & UTILITY EASEMENT

Together with a 30–foot wide Lessee Non–Exclusive Access, Fiber & Utility Easement lying and being the same property conveyed to Carolyn K. & Chelsey L. Ritter by Deed Book 5180 pages 166–168, dated August 19th, 2019 and recorded in the Moore County Register of Deeds and being more particularly described as follows:

To find the Point of Beginning, Commencing at an existing #4 rebar found on the western Right of Way of NC Highway 22 (having a Public Right of Way of 100') at the southeastern corner of said Carolyn K. & Chelsey L. Ritter and the property of Darrell Powers as described in Deed Book 415 page 274 and recorded in the Moore County Resister of Deeds, having a North Carolina Grid North (NAD83) value of N 639,643.9630 and E 1,842,594.3040 and labeled the POINT OF COMMENCEMENT; thence with a tie–line along said Right of Way N 06° 35' 06" W 247.98 feet to a point being the TRUE POINT OF BEGINNING for the 30–foot wide Lessee Non–Exclusive Access, Fiber & Utility Easement; thence leaving said Right of Way S 83° 32' 46" W 243.60 feet to a point; thence S 76° 58' 22" W 104.56 feet to a point; thence S 52° 46' 44" W 52.78 feet to a point; thence S 33° 08' 03" W 37.95 feet to a point; thence S 46° 57' 56" W 70.71 feet to a point; thence S 73° 13' 00" W 93.23 feet to a point; thence S 69° 28' 27" W 47.25 feet to a point; thence S 75° 39' 01" W 58.92 feet to a point; thence N 90° 00' 00" W 46.41 feet to a point; thence S 44° 16' 56" W 55.28 feet to a point; thence S 48° 54' 02" W 62.31 feet to a point; thence S 33° 07' 34" W 30.29 feet to a point; thence S 64° 40' 53" W 58.47 feet to a point; thence S 54° 06' 22" W 100.21 feet to a point being the Point of Beginning for the Lessee Premises; thence S 78° 42' 12" W 100.00 feet to a point; thence leaving said Lessee Premises N 11° 17' 48" W 30.00 feet to a point; thence N 78° 42' 12" E 93.45 feet to a point; thence N 54° 05' 01" E 96.24 feet to a point; thence N 64° 40' 53" E 52.99 feet to a point; thence N 33° 07' 34" E 25.96 feet to a point; thence N 48° 54' 02" E 65.26 feet to a point; thence N 44° 16' 56" E 66.72 feet to a point; thence N 90° 00' 00" E 55.28 feet to a point; thence N 75° 39' 01" E 53.53 feet to a point; thence N 69° 28' 27" E 45.17 feet to a point; thence N 73° 09' 34" E 88.64 feet to a point; thence N 46° 58' 06" E 60.07 feet to a point; thence N 33° 08' 03" E 39.52 feet to a point; thence N 52° 46' 44" E 64.41 feet to a point; thence N 76° 58' 22" E 112.71 feet to a point; thence N 83° 32' 46" E 245.26 feet to a point on said Right of Way; thence with said Right of Way S 06° 35' 06" E 30.00 feet to the POINT OF BEGINNING.

Said described parcel containing 0.801 Acres (34,905.45 square feet), more or less and subject to any and all easements, reservations, restrictions and conveyances of record, being shown hereon for Verizon Wireless.

LESSEE PREMISES AND 30' LESSEE NON-EXCLUSIVE ACCESS, FIBER & UTILITY EASEMENT 5 FOOT WIDE TEMPORARY CONSTRUCTION EASEMENT, VERIZON WIRELESS

Also conveyed is a Lessee 5 foot wide Temporary Construction Easement along the above described Lessee Premises and the 30–foot wide Lessee Non–Exclusive Access, Fiber & Utility Easement being shown hereon for Verizon Wireless.

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PREPARED FOR



Kimley»Horn

REVISIONS

No.	DATE	DESCRIPTION	BY	CHK	APP

SPECIFIC PURPOSE SURVEY:

George_RD

NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

DATE OF SURVEY: SEPTEMBER 2nd, 2021



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SPECIFIC PURPOSE
SURVEY

TOWER LESSEE
PREMISES SITE
SHEET 3 OF 3

(Not Valid without all Sheets)

K:\ATL_Wireless\000_Verizon\2021 Sites\George_RD\CAD\GB\ECor-GB.dwg 11/05/21 1:33 PM by: christopher.ctrange

1.00 GENERAL NOTES

- 1.01 ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE, LOCAL AND NATIONAL CODES, ORDINANCES AND OR REGULATIONS APPLICABLE TO THIS PROJECT.
- 1.02 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE PROJECT MANAGER AND/OR ENGINEER AND BE RESOLVED BEFORE PROCEEDING WITH WORK. WHERE THERE IS A CONFLICT BETWEEN DRAWING AND VERIZON SPECIFICATIONS, THE VERIZON PROJECT ENGINEER SHOULD BE CONTACTED FOR CLARIFICATION.
- 1.03 ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE PROJECT MANAGER AND/OR ENGINEER SO THAT PROPER REVISIONS MAY BE MADE. MODIFICATION OF DETAILS OF CONSTRUCTION SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE PROJECT MANAGER AND/OR ENGINEER.
- 1.04 CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH SITE CONDITIONS AS SHOWN ON THE ATTACHED SITE PLAN AND/OR SURVEY DRAWINGS.
- 1.05 WAVEGUIDE BRIDGE AND EQUIPMENT CABINETS ARE SHOWN FOR REFERENCE ONLY. REFER TO SEPARATE DRAWINGS FOR SPECIFIC INFORMATION.
- 1.06 ALL FINISHED GRADES SHALL SLOPE MINIMUM 1/4 IN./FT. AWAY FROM EQUIPMENT IN ALL DIRECTIONS. CONTRACTOR SHALL SLOPE SWALES AS REQUIRED ALONG EXISTING TERRAIN TO DRAIN AWAY FROM COMPOUND AND ACCESS DRIVE.
- 1.07 THE PROPOSED TOWER AND TOWER FOUNDATIONS WERE DESIGNED BY OTHERS. TOWER INFORMATION PROVIDED ON THESE PLANS ARE PROVIDED FOR REFERENCE PURPOSES ONLY. NOTIFY ENGINEER OR PROJECT MANAGER OF ANY CONFLICTS OR DISCREPANCIES. CONTRACTOR TO OBTAIN COPY OF TOWER DESIGN DRAWINGS, IF AVAILABLE, FROM VERIZON PROJECT MANAGER TO CONFIRM COAX ROUTING AND ANTENNA MOUNT INFORMATION.
- 1.08 THE CONTRACTOR SHALL PROVIDE ADEQUATE EXCAVATION SLOPING, SHORING, BRACING, AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
- 1.09 UPON COMPLETION OF CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES TO THE EXISTING ACCESS ROAD AND COMPOUND GRAVEL AREAS. ANY NEW FILL MATERIALS SHALL BE COMPACTED.
- 1.10 THE CONTRACTOR IS HEREBY NOTIFIED THAT PRIOR TO COMMENCING CONSTRUCTION, HE IS RESPONSIBLE FOR CONTACTING THE UTILITY COMPANIES INVOLVED AND SHALL REQUEST A VERIFICATION AT THE CONSTRUCTION SITE OF THE LOCATIONS OF THEIR UNDERGROUND UTILITIES AND WHERE THEY MAY POSSIBLY CONFLICT WITH THE PLACEMENT OF IMPROVEMENTS AS SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT WILL BE REQUIRED TO NOTIFY "NORTH CAROLINA 811" 48 HOURS IN ADVANCE OF PERFORMING ANY WORK BY CALLING THE TOLL FREE NUMBER (800) 632-4949 (OR 811). ANY UTILITIES DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR, AT NO EXPENSE TO THE OWNER.
- 1.11 CONTRACTOR TO PROVIDE DUMPSTER AND PORTABLE TOILET FACILITY DURING CONSTRUCTION.
- 1.12 CONTRACTOR TO PROVIDE STYMIE LOCK OR EQUIVALENT AS APPROVED BY VERIZON PROJECT MANAGER.
- 1.13 CONTRACTOR TO PROVIDE ANY NECESSARY SIGNAGE PER VERIZON PROJECT MANAGER'S INSTRUCTIONS. SEE DETAIL ON SHEET C11.

2.00 EQUIPMENT FOUNDATION NOTES

- 2.01 FOUNDATIONS ARE DESIGNED FOR A PRESUMPTIVE ALLOWABLE SOIL BEARING CAPACITY OF 2,000 PSF. CONTRACTOR SHALL VERIFY SOIL CONDITIONS AND BEARING CAPACITY PRIOR TO CONSTRUCTION.
- 2.02 EXCAVATE A MINIMUM 18" BELOW PROPOSED EQUIPMENT FOUNDATIONS OF EXPANSIVE, ORGANIC, UNCONSOLIDATED OR OTHERWISE UNACCEPTABLE MATERIAL AND REPLACE WITH WELL-COMPACTED MATERIAL ACCEPTABLE TO VERIZON.
- 2.03 CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND RELOCATING AS REQUIRED ALL SERVICE AND UTILITY LINES IN VICINITY OF THE WORK SITE. ALL EXCAVATIONS NEAR THESE LINES TO BE CARRIED OUT WITH EXTREME CAUTION. COORDINATE ALL RELOCATIONS WITH THE PROPERTY OWNER.
- 2.04 CONTRACTOR TO CUT/FILL EXISTING COMPOUND SUBSOIL TO PROVIDE AN AREA AS LEVEL AS POSSIBLE FOR THE EQUIPMENT FOUNDATIONS. ALL FILL AREAS ARE TO BE FILLED WITH SUITABLE MATERIALS. FILL MATERIALS ARE TO BE PLACED, COMPACTED, AND TESTED IN MAXIMUM LAYERS OF 8". COMPACTION OF ALL FILL MATERIAL SHALL ACHIEVE 95 PERCENT OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D 698. ALL TESTS MUST MEET THE MINIMUM SPECIFIED SOIL BEARING CAPACITY. COMPACTION TESTING IS BY THE GEOTECHNICAL TESTING COMPANY DESIGNATED FOR THE PROJECT. SCHEDULING AND COORDINATION IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. REPORTS OF ALL TESTING ARE TO BE PROMPTLY DELIVERED OR FAXED TO THE VERIZON WIRELESS PROJECT MANAGER.
- 2.05 CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION TO ACI-318 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE.
- 2.06 CONCRETE SHALL HAVE A SLUMP BETWEEN 3" AND 6".
- 2.07 FIBERS FOR CONCRETE SHALL BE FIBERMESH 650, 100 PERCENT VIRGIN POLYPROPYLENE FIBRILLATED FIBERS, e3 PATENTED TECHNOLOGY PATENTED TECHNOLOGY, CONTAINING NO REPROCESSED OLEFIN MATERIALS. THE FIBERS SHALL CONFORM TO ASTM C1116 TYPE III AND MANUFACTURED SPECIFICALLY FOR THE SECONDARY REINFORCEMENT OF CONCRETE.
- 2.08 THE FIBERS SHALL BE MANUFACTURED IN AN ISO 9001:2008 CERTIFIED MANUFACTURING FACILITY. UNLESS OTHERWISE STATED, FIBERMESH 650 MACRO-SYNTHETIC FIBERS SHALL BE ADDED TO THE CONCRETE AT THE BATCHING PLANT AT THE RECOMMENDED APPLICATION RATE OF 3 LBS/YD³ AND MIXED FOR A SUFFICIENT TIME (MINIMUM 5 MINUTES AT FULL MIXING SPEED) TO ENSURE UNIFORM DISTRIBUTION OF THE FIBERS THROUGHOUT THE CONCRETE. FIBROUS CONCRETE REINFORCEMENT SHALL BE MANUFACTURED BY FIBERMESH, 4019 INDUSTRY DRIVE, CHATTANOOGA, TN 37416 USA, TEL: 800 621-1273, WEBSITE: WWW.FIBERMESH.COM
- 2.09 AT THE REQUEST OF THE VERIZON WIRELESS PROJECT MANAGER, TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FOR EACH DAY'S CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH THE LATEST REVISION TO ASTM C39.
- 2.10 CHAMFER ALL EXPOSED EXTERNAL CORNERS OF CONCRETE WITH ¾" x 45° CHAMFER, UNLESS OTHERWISE NOTED.
- 2.11 CONCRETE FORMWORK IS TO BE STRIPPED WITHIN 48 HOURS. VIBRATION OF THE CONCRETE MUST ASSURE THAT HONEYCOMBING WILL BE AT A MINIMUM. MECHANICAL VIBRATION OF ALL CONCRETE IS REQUIRED UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER. ABOVE GRADE CONCRETE IS TO BE RUBBED AND PATCHED TO ASSURE SMOOTH FINISH AT TIME OF FORMS REMOVAL. CONTRACTOR SHALL PROVIDE A BROOM FINISH ON THE TOP SURFACE OF THE EQUIPMENT FOUNDATION UNLESS OTHERWISE DIRECTED BY VERIZON WIRELESS' PROJECT MANAGER.
- 2.12 TOPS OF CONCRETE FOUNDATION MUST BE WITHIN 0.02' OF ELEVATION REQUIRED.
- 2.13 TOP OF FOUNDATION FINISH TO BE LEVEL ± ⅛" IN 10'.
- 2.14 TOP OF FOUNDATION TO HAVE MEDIUM BROOM FINISH.
- 2.15 CONTRACTOR SHALL REFER TO DRAWINGS OF OTHER TRADES AND VENDOR DRAWINGS FOR EMBEDDED ITEMS AND RECESSES NOT SHOWN ON THE STRUCTURAL DRAWINGS. CONTRACTOR SHALL VERIFY PLACEMENT OF EQUIPMENT AND LOCATION OF CONDUIT FOR MANUFACTURER'S AND VENDORS SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL OPENINGS AND SLEEVES FOR PROPER DISTRIBUTION OF ALL UTILITIES.

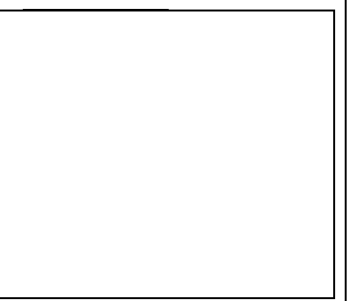


PROJECT INFORMATION:

SITE NAME:
GEORGE_RD
SITE No.: 696361
PROJECT #: 15160919
NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

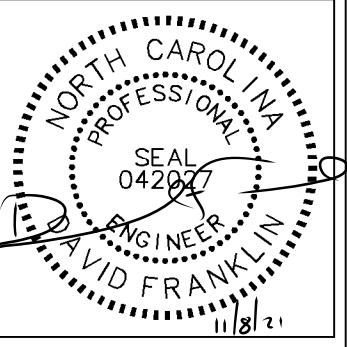
Kimley»Horn
11720 AMBER PARK DRIVE, SUITE 800
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102



REV: DATE: ISSUED FOR: BY:

8			
7			
6			
5			
4			
3			
2			
1			
0	11/05/21	CONSTRUCTION	DMF

LICENSER:



KHA PROJECT NUMBER:

013509351

DRAWN BY: CHECKED BY:

JAR CDS

SHEET TITLE:

GENERAL NOTES

SHEET NUMBER:

N1

TOWER SETBACKS TO PROPERTY LINES (FROM TOWER CENTER)	
NORTH	595'-5"
SOUTH	668'-5"
EAST	268'-1"
WEST	1147'-10"

N/F
WENDELL KIDD
PARCEL ID: 863400808652
DB: 462 PG: 81
120.06 AC.

N/F
SELENA L. BRADY
PARCEL ID: 864400000097
DB: 3075 PG: 150
10.46 AC.

N/F
SELENA B. BARBEE
PARCEL ID: 864300103342
DB: 3211 PG: 599
35.63 AC.

N/F
LAURA E. CAMERON
PARCEL ID: 864400300413
DB: 5401 PG: 222
6.22 AC.

PARENT PARCEL
CAROLYN & CHELSEY L. RIMMER
PARCEL ID: 864300099495
DB 5180 PGS: 166-168
PC 15 SLIDE 882
70.20 AC.

PROPOSED LESSEE
100' X 100' PREMISES
(±10,000 SQ. FT.)
(SEE SHEET C13)

N/F
DARRELL POWERS
PARCEL ID: 864300185633
DB: 415 PG: 274
56.17 AC.

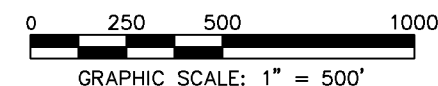
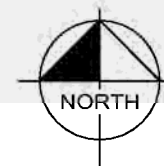
N/F
VICKIE KAY INGUANTI
PARCEL ID: 864300391839
DB: 2015E PG: 365
9.47 AC.

N/F
VICKIE KAY INGUANTI
PARCEL ID: 864300390544
DB: 5173 PG: 294
3.19 AC.

NC HIGHWAY 22
(100' PUBLIC R/W PER
PC 15 SLIDE 822)

GEORGE P. ROAD

KIDD ROAD



SURVEY NOTE:

1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY SUMMIT DATED 10/05/2021 AND SITE VISIT ON 09/02/2021.

1
C0 **OVERALL SITE PLAN**
SCALE: 1" = 500'

verizon

8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
GEORGE RD
SITE No.: 696361
PROJECT #: 15160919
NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
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KHA PROJECT NUMBER:

013509351

DRAWN BY: CHECKED BY:

JAR

CDS

SHEET TITLE:

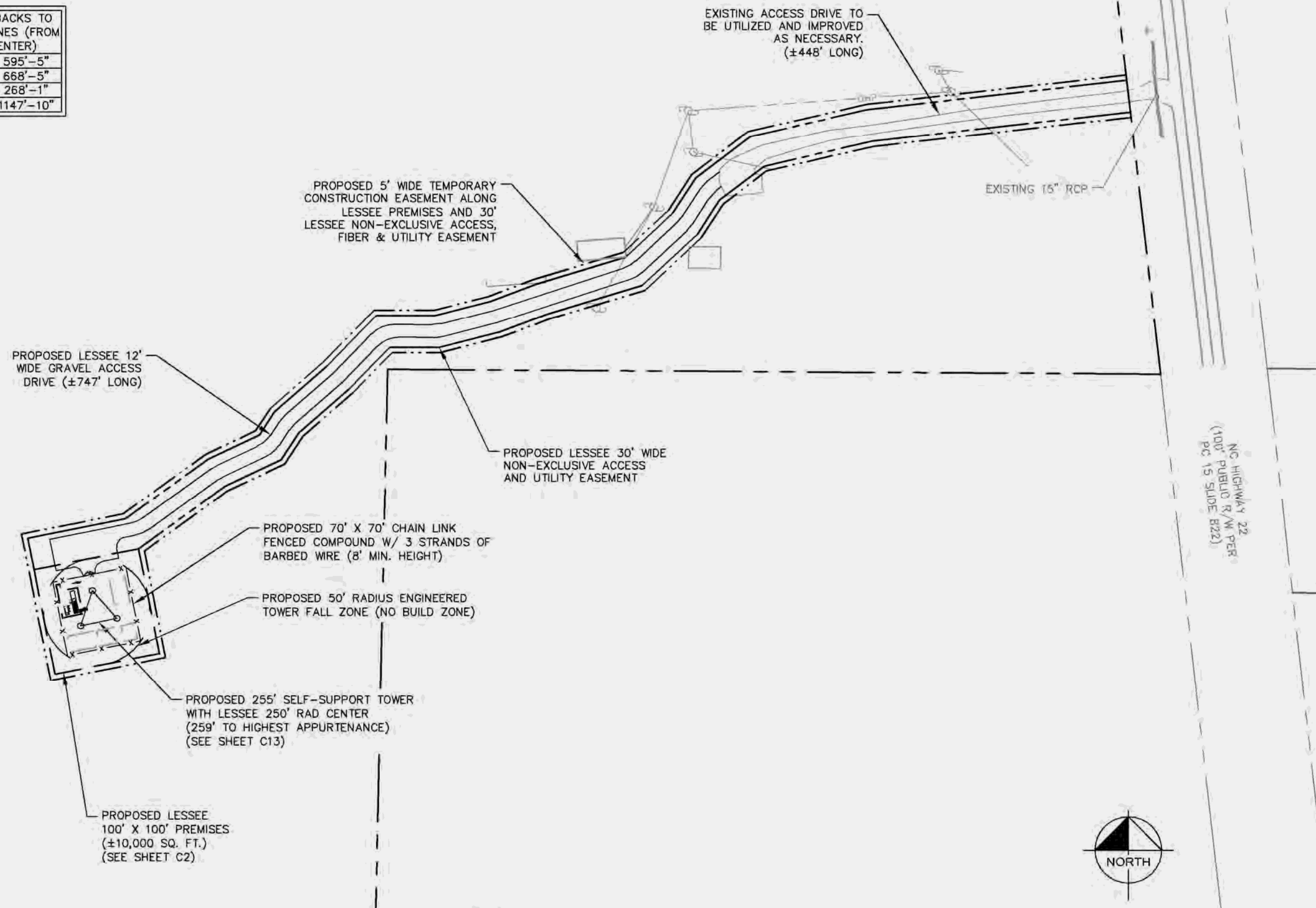
**OVERALL PARCEL
PLAN**

SHEET NUMBER:

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TOWER SETBACKS TO PROPERTY LINES (FROM TOWER CENTER)	
NORTH	595'-5"
SOUTH	668'-5"
EAST	268'-1"
WEST	1147'-10"



SURVEY NOTE:

1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY SUMMIT DATED 10/05/2021 AND SITE VISIT ON 09/02/2021.

1
C1 OVERALL SITE PLAN
SCALE: 1" = 100'

0 50 100 200
GRAPHIC SCALE: 1" = 100'

verizon

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CHARLOTTE, NORTH CAROLINA 28262

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GEORGE RD
SITE No.: 696361
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NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

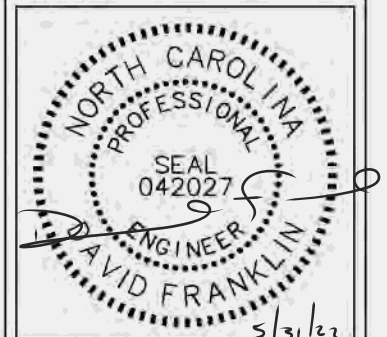
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LICENSER:



KHA PROJECT NUMBER:

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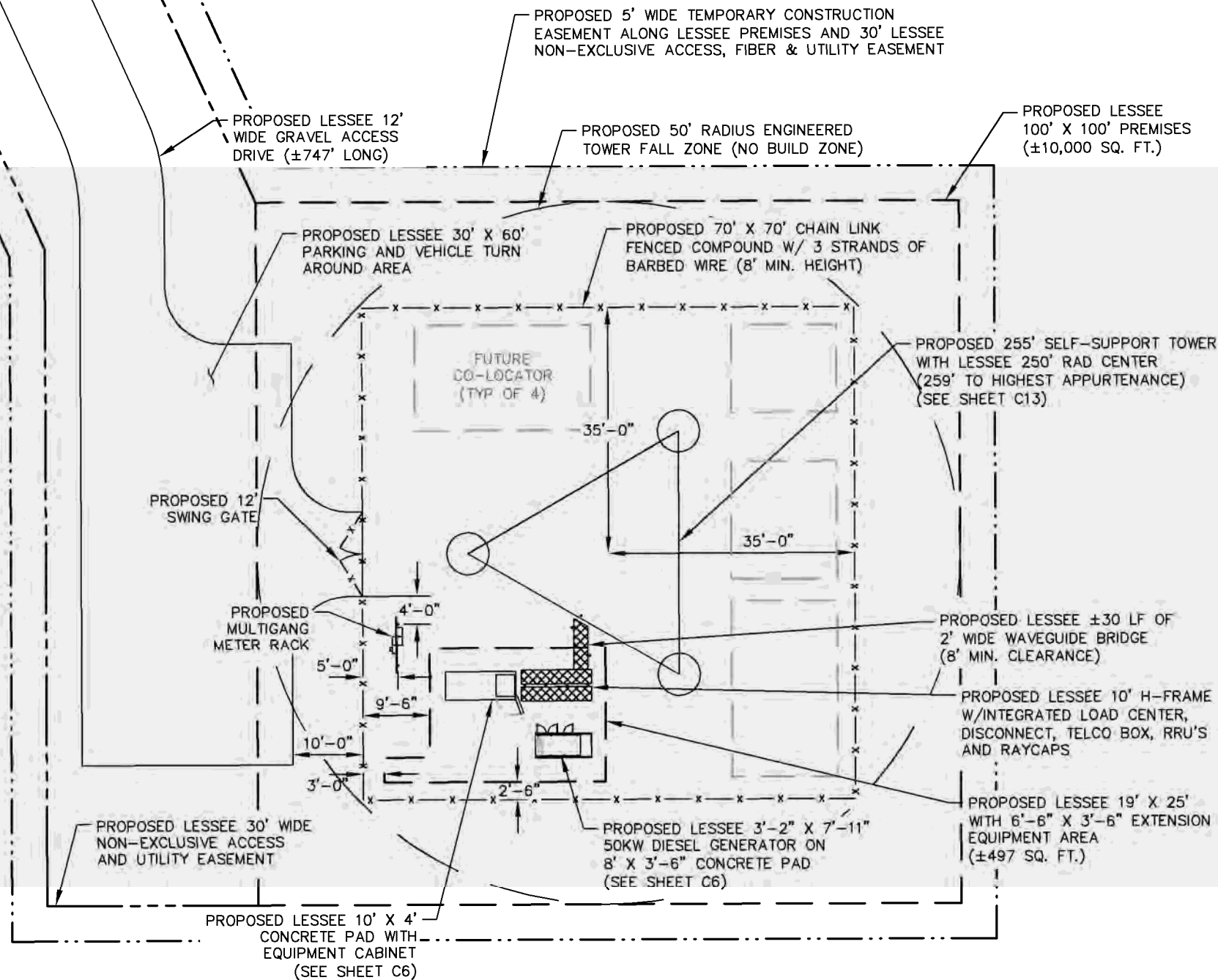
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OVERALL SITE
PLAN

SHEET NUMBER:

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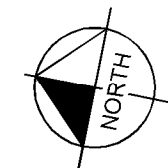
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1 SITE PLAN
C2 SCALE: 1" = 20'

SITE NOTES:

1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER AND/OR TOWER OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY SUMMIT DATED 10/05/21 AND SITE VISIT ON 09/02/21.
3. CONTRACTOR TO CONFIRM WITH VERIZON CONSTRUCTION MANAGER THAT THE SHELTER/EQUIPMENT SHOWN HAS BEEN ORDERED/SCHEDULED FOR DELIVERY TO THIS SITE.
4. THE BASIS OF EQUIPMENT DESIGN INCLUDES ONE (1) RF CABINET, ONE (1) FUTURE BATTERY CABINET, AND ONE (1) FUTURE EXPANSION CABINET.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND MODIFYING SCOPE OF WORK TO ACCOMMODATE ANY CHANGES IN THE EXACT EQUIPMENT PROCURED BY VERIZON WIRELESS. COORDINATE ANY CHANGES WITH VERIZON WIRELESS CONSTRUCTION MANAGER.
6. ROUTE COAX/FIBER UP TOWER PER STRUCTURAL ANALYSIS BY TOWER OWNER.
7. TOWER DIMENSIONS SHOWN ON THIS PLAN ARE FOR TOWER CENTER LOCATION. CONTRACTOR TO OBTAIN COPY OF TOWER ERECTION DRAWINGS FROM VERIZON CONSTRUCTION MANAGER PRIOR TO DRILLING TOWER FOUNDATIONS. CASSIONS AND TOWER SHOWN ON THIS PLAN ARE ILLUSTRATIVE, SEE DESIGN DRAWING BY OTHERS. DO NOT SCALE.
8. INSTALL 3½" O.D. GALVANIZED STEEL POST FOR TDSGA-PA14 GROUND BAR. POST TO EXTEND 78" ABOVE GRADE AND SHALL BE EMBEDDED IN A 12"Ø CONCRETE FOOTING A MINIMUM OF 36". FOOTING SHALL EXTEND A MINIMUM OF 42" BELOW GRADE.



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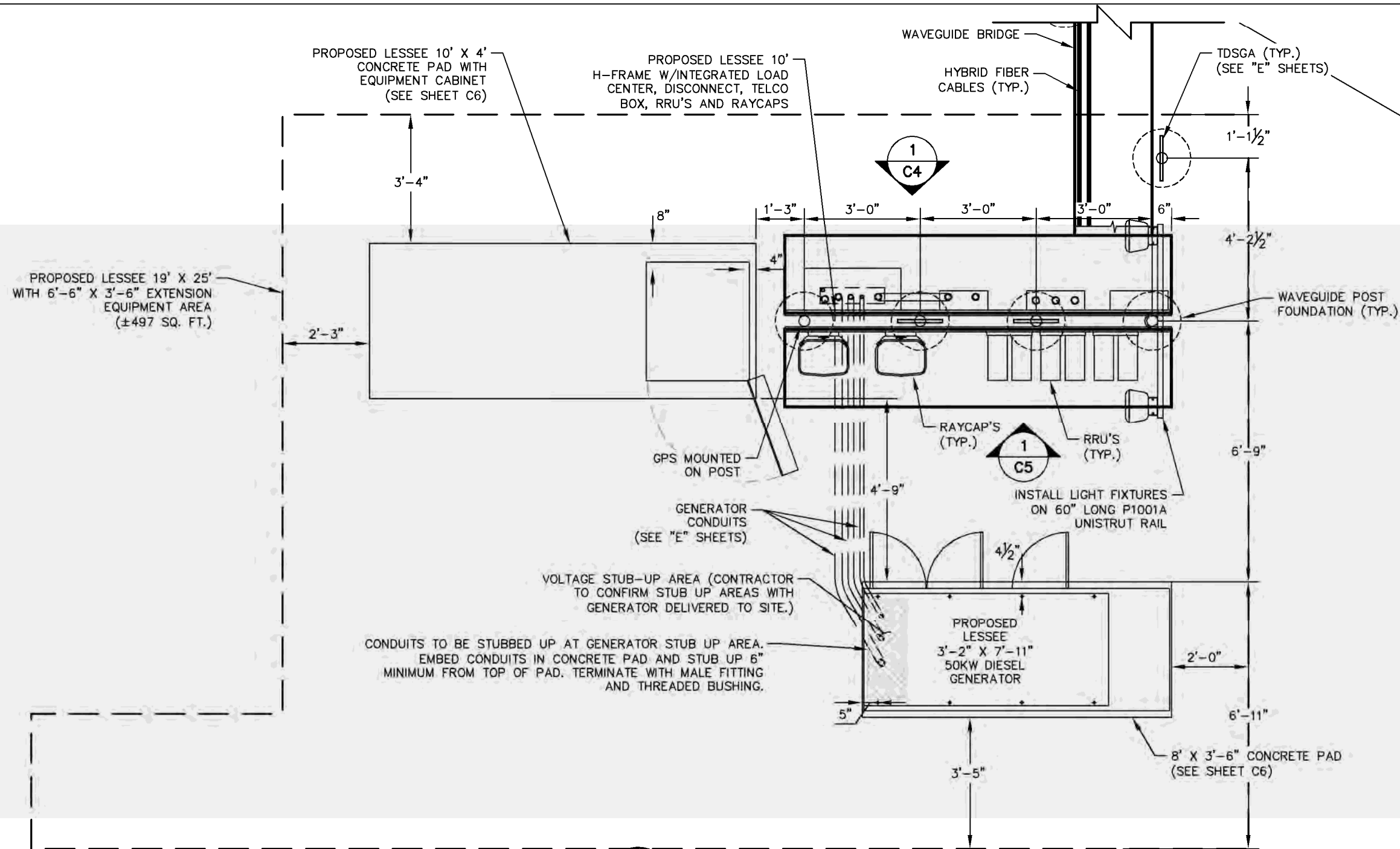
SHEET TITLE:

SITE PLAN

SHEET NUMBER:

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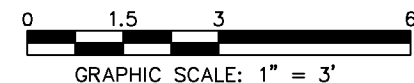
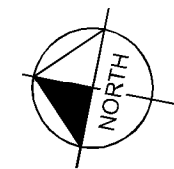


1 C3 **EQUIPMENT PAD LAYOUT**

SCALE: 1" = 3'

EQUIPMENT PAD/ROUTING NOTES:

1. REFER TO THE SITE PLAN FOR EQUIPMENT PAD LOCATION AND ORIENTATION.
2. RUN 2" FLEX TELCO CONDUIT FROM BOTTOM OF TELCO BOX TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
3. RUN (2) 2" FLEX POWER CONDUIT AND (1) 1" ALARM CONDUIT FROM BOTTOM OF ILC TO SIDE OF RF CABINET WITH CHASE NIPPLES THROUGH FACTORY KNOCKOUTS.
4. RUN 2" FLEX FIBER CONDUIT FROM BOTTOM OF OVP TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
5. RUN (1) 1 1/2" FLEX POWER CONDUIT FOR EVERY (6) RRU CIRCUITS FROM BOTTOM OF OVP TO SIDE OF RF CABINET WITH CHASE NIPPLE THROUGH FACTORY KNOCKOUT.
6. SUPPORT FLEX CONDUIT ON HORIZONTAL H-FRAME RAILS OR ON VERTICAL SITE STRUT SNT10 RAILS ADDED TO H-FRAME FOR CONDUIT/CABLE MANAGEMENT.
7. RUN HYBRID CABLE FOR TOWER MOUNTED RRU'S OVERHEAD ON TRAPEZE SUSPENDED FROM WAVE GUIDE BRIDGE. SWEEP DOWN ONTO H-FRAME RAILS, THEN LOOP UNDER OVP AND CONNECT TO BOTTOM OF OVP. ATTACH GROUND KITS TO HYBRID CABLE BEFORE LOOPING UNDER OVP, AND BOND TO TDSGA GROUND BAR AT BASE OF H-FRAME.
8. RUN COAX CABLE FOR GROUND MOUNTED RRU'S (IF USED) OVERHEAD ON TRAPEZE SUSPENDED FROM WAVE GUIDE BRIDGE. TERMINATE COAX ON ICE BRIDGE AND TRANSITION TO JUMPERS JUST BEFORE REACHING H-FRAME. ATTACH GROUND KITS TO COAX CABLE ON TOWER SIDE OF LAST ICE BRIDGE POST AND BOND TO TDSGA GROUND BAR NEAR TOP OF POST.
9. GPS ANTENNA TO BE MOUNTED TO STANDARD HEIGHT POST WITH EXTENDED MOUNTING PIPE, USING COMMSCOPE GPS-U MOUNTING KIT. MOUNT AS NEAR AS PRACTICAL TO RBA84 CABINET.
10. BOLT CABINETS AND GENERATOR TO SLAB USING FASTENERS SPECIFIED BY EQUIPMENT MANUFACTURER IN FACTORY PROVIDED MOUNTING HOLES.



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CHARLOTTE, NORTH CAROLINA 28262

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NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

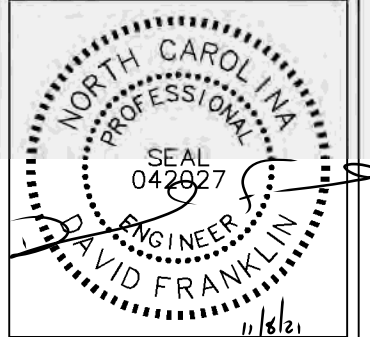
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SHEET TITLE:

**EQUIPMENT PAD
LAYOUT**

SHEET NUMBER:

C3

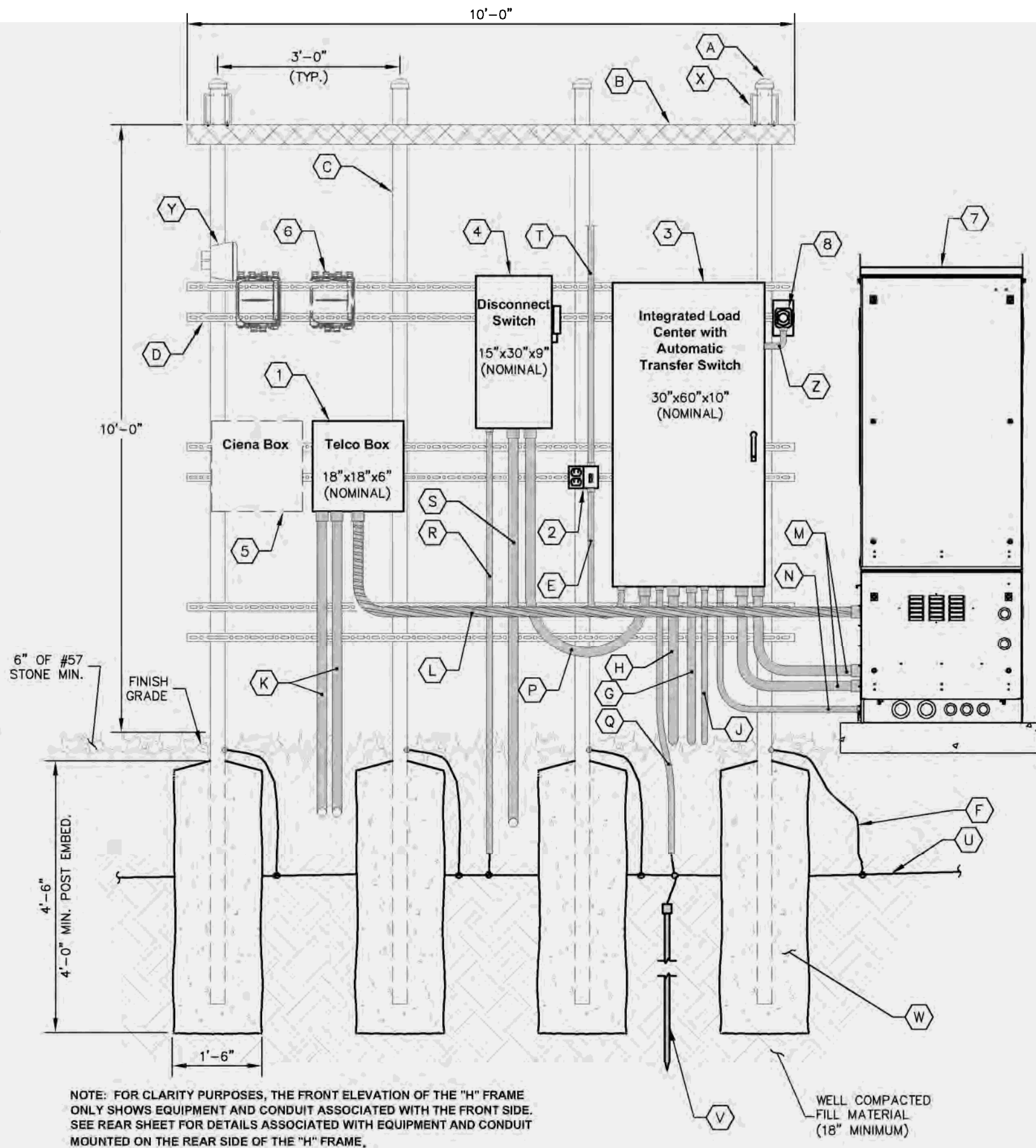
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KEY NOTES - CONDUIT, CONDUCTORS, & MISC

- (A) GALVANIZED RIGID STEEL CAP, TYPICAL.
- (B) ICE BRIDGE, SEE CIVIL SHEETS FOR ADDITIONAL DETAILS.
- (C) 3" GALVANIZED RIGID STEEL PIPE, TYPICAL.
- (D) 1½" X 1½" GALVANIZED STEEL CHANNEL (UNISTRUT #P1000) WITH PLASTIC END CAP (UNISTRUT #P2860), TYPICAL.
- (E) 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO LIGHTS/DUPLEX OUTLET.
- (F) ONE (1) #2 AWG BARE SOLID TINNED COPPER BONDING CONDUCTOR (BC) FROM H-FRAME VERTICAL PIPE TO GROUND RING, EXOTHERMIC WELD BOTH ENDS.
- (G) 1" PVC CONDUIT FOR ROUTING GENERATOR CONTROL AND ALARM SIGNAL CABLES TO THE GENERATOR.
- (H) 2" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO THE GENERATOR.
- (J) 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO THE GENERATOR BATTERY CHARGER AND THE GENERATOR BLOCK HEATER.
- (K) TWO (2) 2" PVC TELCO CONDUITS, WITH TWO (2) PULL ROPES EACH.
- (L) 2" FLEX CONDUIT FOR TELCO CABLES TO RF CABINET. REFER TO ROUTING NOTES ON EQUIPMENT PAD LAYOUT.
- (M) (2) 2" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO RF CABINET. REFER TO ROUTING NOTES ON EQUIPMENT PAD LAYOUT.
- (N) 1" PVC CONDUIT FROM INTEGRATED LOAD CENTER (ILC) TO RF CABINET FOR ALARM SIGNAL CABLE. REFER TO ROUTING NOTES ON EQUIPMENT PAD LAYOUT.
- (P) 2" PVC CONDUIT FOR ROUTING POWER CONDUCTORS FROM THE DISCONNECT SWITCH TO THE UTILITY BREAKER IN THE ILC.
- (Q) ¾" PVC CONDUIT WITH ONE (1) - #2 AWG BARE TINNED COPPER FROM GROUNDING LUG IN ILC TO GROUND ROD, EXOTHERMIC WELD TO GROUND ROD.
- (R) ¾" PVC CONDUIT WITH ONE (1) - #2 AWG BARE TINNED COPPER FROM GROUNDING LUG IN DISCONNECT SWITCH TO GROUND RING, EXOTHERMIC WELD TO GROUND RING.
- (S) 2" PVC CONDUIT FOR ROUTING POWER CONDUCTORS FROM THE UTILITY COMPANY METER TO THE DISCONNECT SWITCH.
- (T) 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO AREA LIGHTS.
- (U) GROUND RING (SEE "E" SHEETS).
- (V) GROUND ROD, EXOTHERMIC WELD TO GROUND RING (SEE "E" SHEETS).
- (W) CONCRETE FOUNDATION FOR H-FRAME VERTICAL PIPE. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI. AND INCLUDE FIBERMESH 650.
- (X) WB-K210-B15 HORSEHEAD SUPPORT BRACKET (SEE "WAVEGUIDE BRIDGE DETAILS" SHEET). THRU BOLTS REQUIRED FOR ATTACHMENT IN LIEU OF FACTORY PROVIDED U-BOLTS.
- (Y) INSTALL LIGHT FIXTURES ON 60" LONG P1001A UNISTRUT RAIL (SEE "EQUIPMENT PAD LAYOUT" SHEET). ATTACH P1001A TO H-FRAME POST USING TWO (2) UB3 UNISTRUT CLAMPS. LIGHTS TO BE INSTALLED 7'-6" ABOVE GRADE.
- (Z) 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS FROM THE ILC TO THE EMERGENCY GENERATOR STOP SWITCH.

KEY NOTES - ELECTRICAL EQUIPMENT

- (1) NEMA 3R ENCLOSURE TELCO BOX WITH REMOVABLE FRONT PANEL, PVC, (18" X 18" X 6" NOMINAL).
- (2) 20 AMP GFCI DUPLEX RECEPTACLE AND TIMER SWITCH, ENERLITES HET06 SERIES (OR APPROVED EQUIVALENT) IN LOCKABLE NEMA 3R ENCLOSURE, 2 GANG BOX WITH RED DOT 2CKPM-W COVER.
- (3) 200 AMP, 120/240 VOLT, INTEGRATED LOAD CENTER WITH 42 SPACE PANEL AND AUTOMATIC TRANSFER SWITCH (30" X 60" X 10" NOMINAL).
- (4) SE RATED, 240 V, 200 AMP, 2-POLE, NON-FUSED DISCONNECT IN NEMA 3R ENCLOSURE.
- (5) CIENA ETHERNET IF REQUIRED (COORDINATE WITH VERIZON CONSTRUCTION MANAGER FOR ADDITIONAL CONDUIT AND WIRING REQUIREMENTS).
- (6) DIPLEXERS "AS NEEDED".
- (7) VERIZON RF CABINET-REAR VIEW.
- (8) EMERGENCY SHUTOFF SWITCH FOR GENERATOR MOUNTED ON 4" X 7" GALVANIZED J-BOX COVER PLATE.



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C4 EQUIPMENT RACK DETAILS - FRONT
NOT TO SCALE

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BR21 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
GEORGE RD
SITE No.: 696361
PROJECT #: 15160919
NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

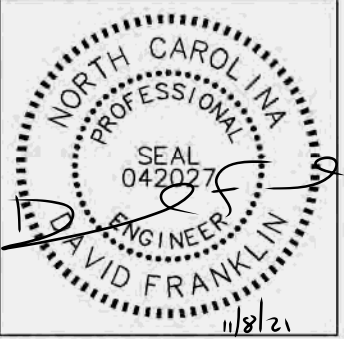
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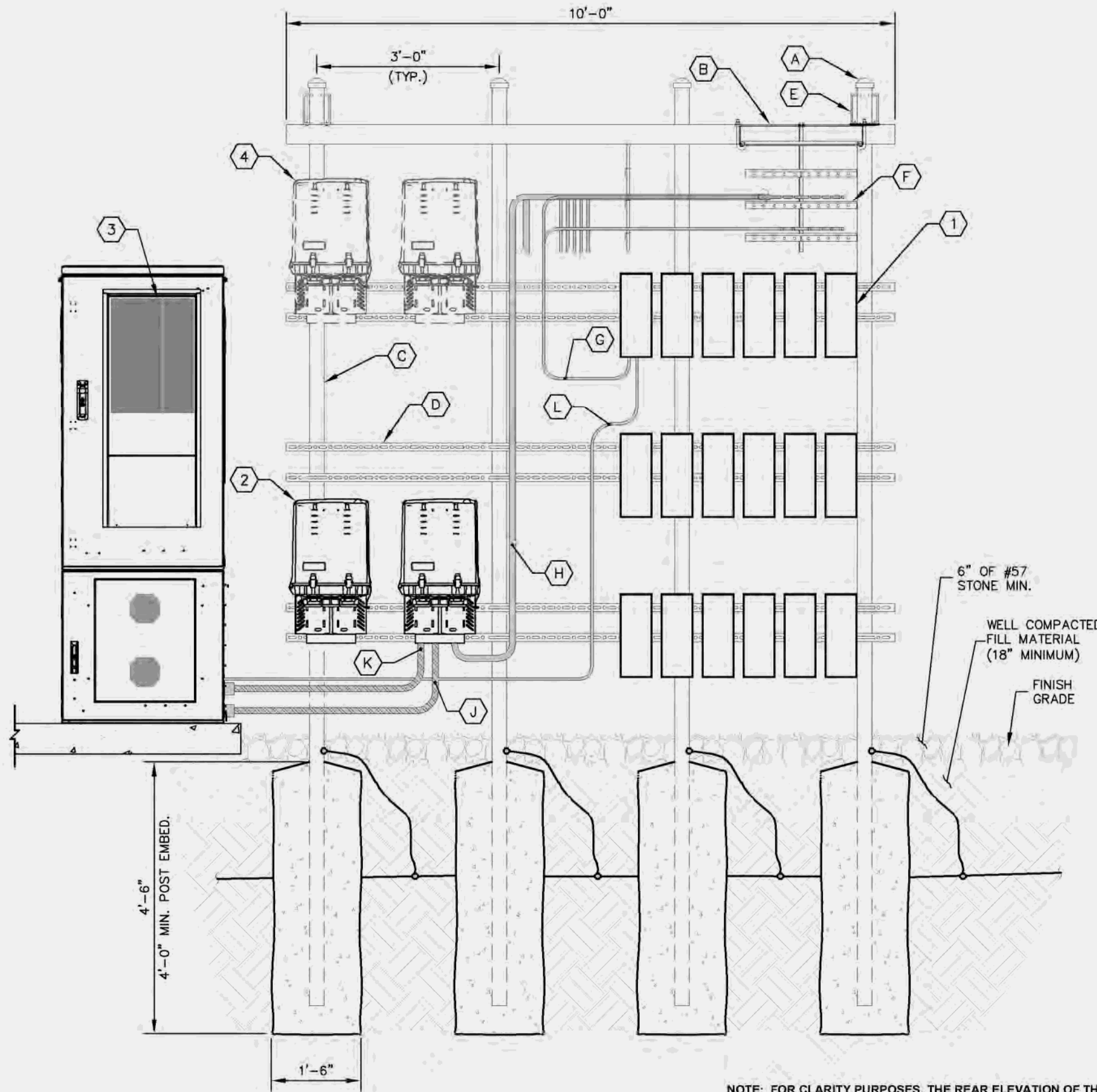
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EQUIPMENT RACK
DETAIL - FRONT

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1 EQUIPMENT RACK DETAILS - REAR
C5 NOT TO SCALE

NOTE: FOR CLARITY PURPOSES, THE REAR ELEVATION OF THE "H" FRAME ONLY SHOWS EQUIPMENT AND CONDUIT ASSOCIATED WITH THE REAR SIDE. SEE FRONT SHEET FOR DETAILS ASSOCIATED WITH EQUIPMENT AND CONDUIT MOUNTED ON THE FRONT SIDE OF THE "H" FRAME.

KEY NOTES - CONDUIT, CONDUCTORS, & MISC

- A GALVANIZED RIGID STEEL CAP, TYPICAL.
- B ICE BRIDGE, SEE CIVIL SHEETS FOR ADDITIONAL DETAILS.
- C 3" GALVANIZED RIGID STEEL PIPE, TYPICAL.
- D 1 1/2" X 1 1/2" GALVANIZED STEEL CHANNEL (UNISTRUT #P1000) WITH PLASTIC END CAP (UNISTRUT #P2860), TYPICAL.
- E WB-K210-B15 HORSEHEAD SUPPORT BRACKET (SEE "WAVEGUIDE BRIDGE DETAILS" SHEET). THRU BOLTS REQUIRED FOR ATTACHMENT IN LIEU OF FACTORY PROVIDED U-BOLTS.
- F ICE BRIDGE RUNNING TOWARDS TOWER (SEE "EQUIPMENT PAD LAYOUT" SHEET).
- G COAX JUMPER CABLES INTO BOTTOM OF RRU'S, TYPICAL.
- H HYBRID CABLES RUNNING INTO BOTTOM OF RAYCAPS, TYPICAL (SEE NOTE 7 ON "EQUIPMENT PAD LAYOUT" SHEET).
- J 1 1/2" POWER FLEX CONDUIT RUNNING FROM BOTTOM OF RAYCAPS TO CABINET, TYPICAL (SEE "EQUIPMENT PAD LAYOUT" SHEET).
- K 2" FIBER FLEX CONDUIT RUNNING FROM BOTTOM OF RAYCAPS TO CABINET, TYPICAL (SEE "EQUIPMENT PAD LAYOUT" SHEET).
- L FIBER/POWER JUMPER TO RRU (TYP. FOR EACH RRU).

KEY NOTES - ELECTRICAL EQUIPMENT

- 1 VERIZON RF RRU'S (MODEL, QUANTITY OF, AND CONFIGURATION DETERMINED BY RF DESIGN).
- 2 VERIZON RAYCAPS (MODEL, QUANTITY OF, AND CONFIGURATION DETERMINED BY RF DESIGN).
- 3 VERIZON RF CABINET-FRONT VIEW.
- 4 FUTURE VERIZON RAYCAPS.



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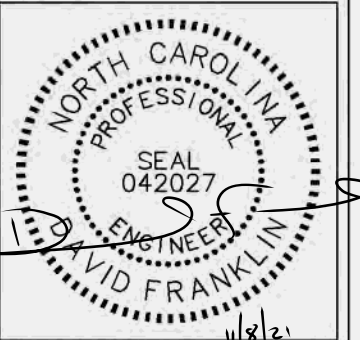
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SHEET TITLE:

EQUIPMENT RACK
DETAIL - REAR

SHEET NUMBER:

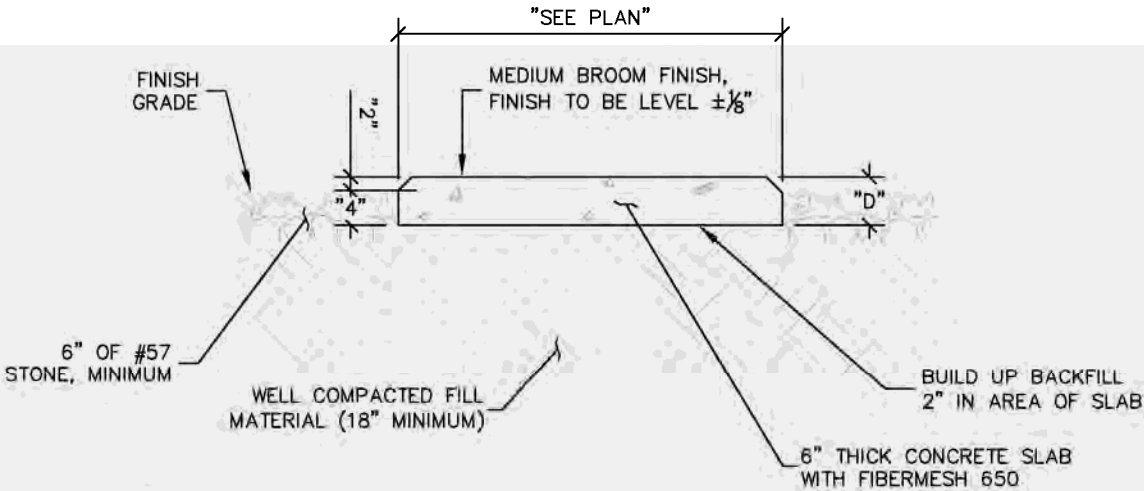
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CONCRETE PAD SCHEDULE				
PAD TYPE	"L"	"W"	"D"	REINFORCEMENT
EQUIPMENT PAD	10'-0"	4'-0"	6"	SEE DETAIL 2/C6
GENERATOR PAD	8'-0"	3'-6"	6"	SEE DETAIL 2/C6



1 CONCRETE PAD PLAN
C6 NOT TO SCALE



2 CONCRETE PAD FOUNDATION SECTION
C6 NOT TO SCALE



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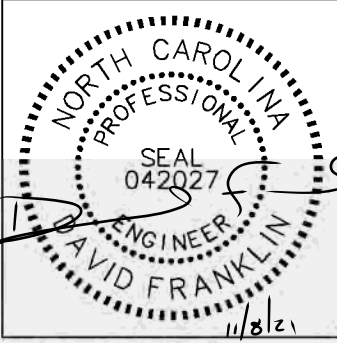
Kimley»Horn

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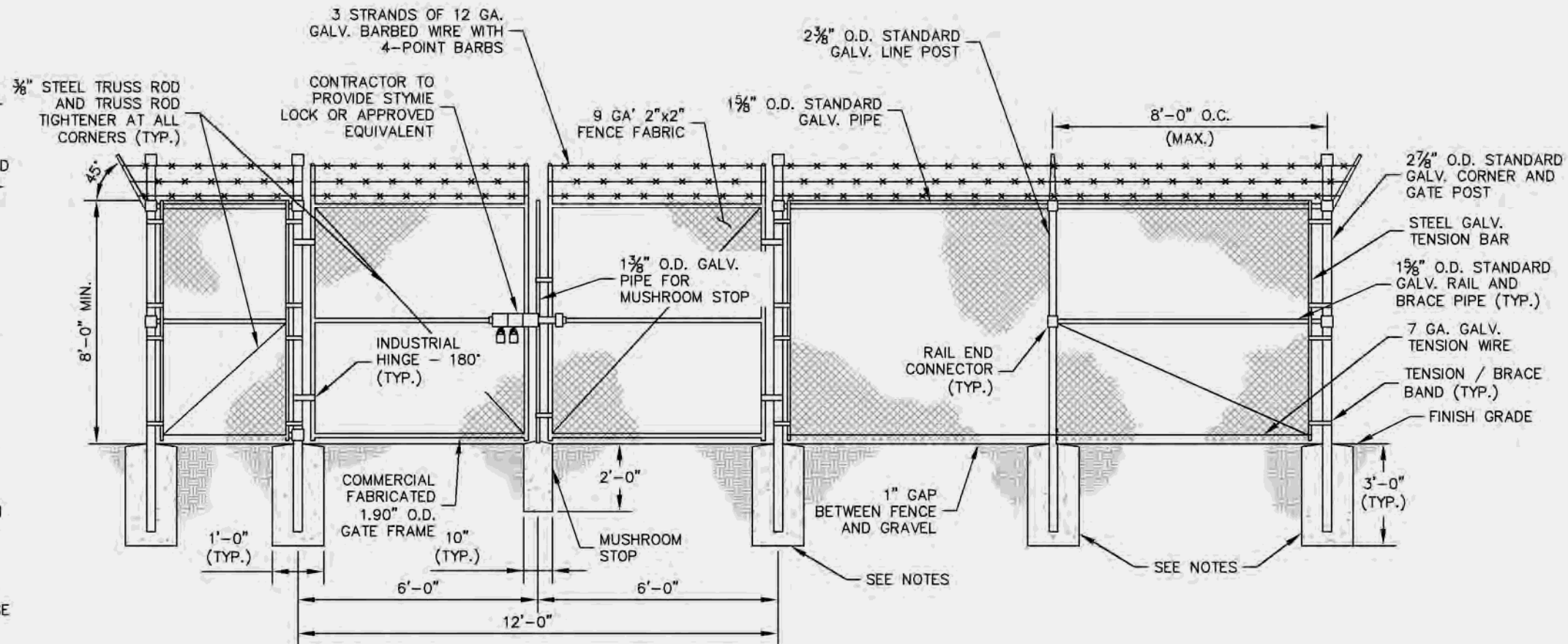
CONCRETE PAD
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DETAILS

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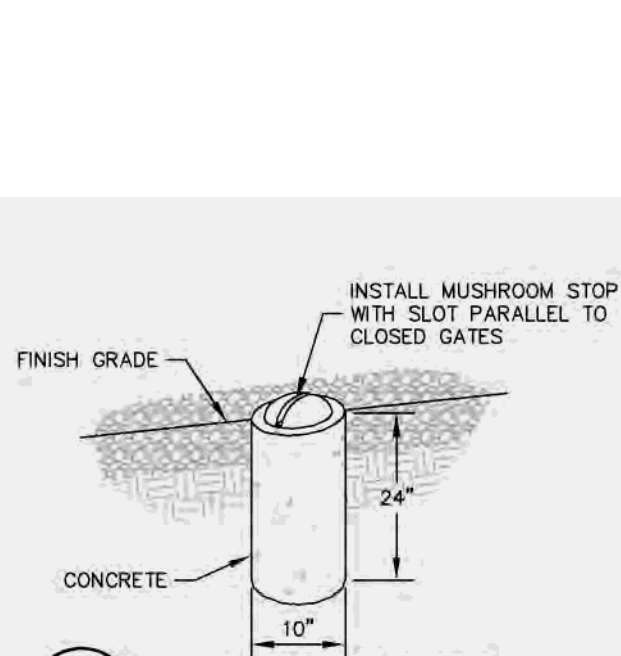
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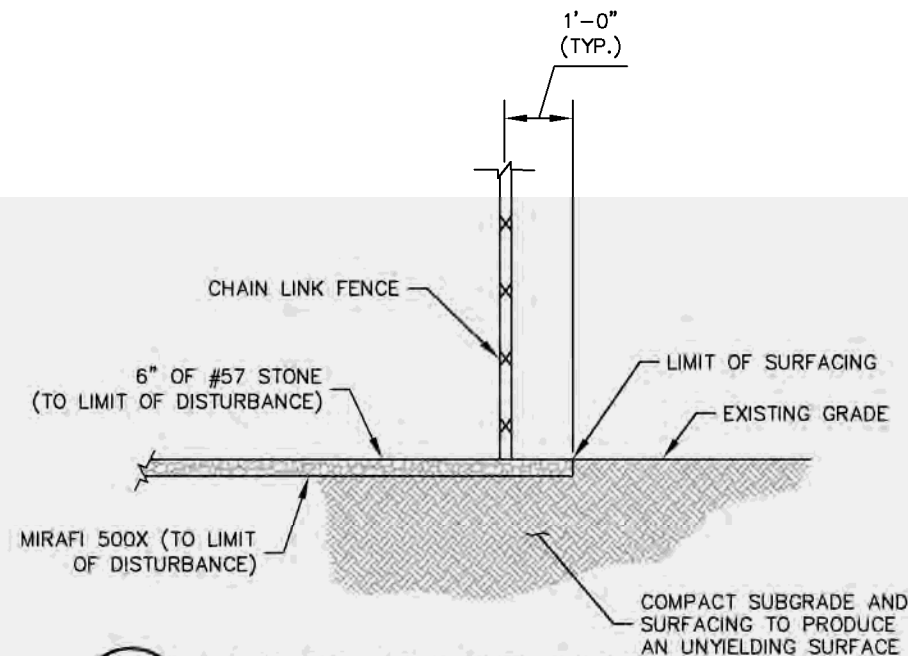
- FENCE NOTES:**
1. USE 3,000-PSI CONCRETE, FULLY CONSOLIDATED AROUND THE POST.
 2. WHERE THE POST IS SET IN ROCK OR CONCRETE, CORE A HOLE 12" DEEP AND 1" LARGER IN DIAMETER THAN THE POST. SET THE POST AND GROUT IN PLACE USING NON-SHRINK GROUT.
 3. ALL POSTS MUST BE PLUMB AND ALIGNED WITH ONE ANOTHER IN BOTH HORIZONTAL AND VERTICAL PLANES.
 4. CORNERS AND GATEPOSTS FOR CHAIN LINK FENCES SHALL EXTEND ABOVE THE TOP STRAND OF BARBED WIRE TO PROVIDE TENSIONING FOR THE BARBED WIRE.
 5. PROVIDE MIDRAILS AND BRACING AT ALL CORNER POSTS WHERE THE FENCE CHANGES DIRECTION BY MORE THAN 30 DEGREES.
 6. THE GRADE OF THE SITE AND INSTALLATION OF THE FENCE SHALL PROVIDE FOR NO MORE THAN A 1" GAP BETWEEN THE BOTTOM OF THE FENCE MATERIAL AND FINISH GRADE.
 7. CONTRACTOR SHALL PROVIDE HOLD OPEN DEVICES FOR ALL GATES AT THE SPECIFIED OPEN POSITIONS, DRIVEN PIPE TYPE RECEIVERS ARE NOT AUTHORIZED.
 8. CONTRACTOR SHALL ALSO PROVIDE A MUSHROOM TYPE RECEIVER AT THE CLOSE POSITION.



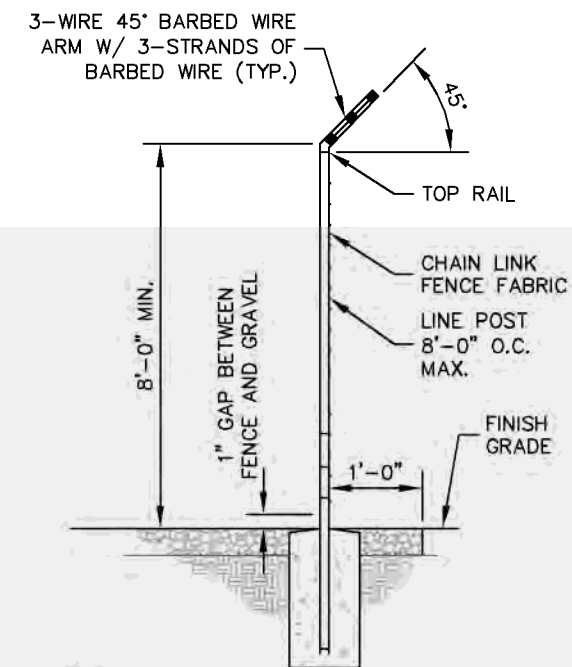
1
C7 CHAIN LINK FENCE AND GATE ELEVATION
NOT TO SCALE



2
C7 MUSHROOM STOP
NOT TO SCALE



3
C7 SITE COMPOUND SURFACE DETAIL
NOT TO SCALE



4
C7 SECTION AT FENCE
NOT TO SCALE

verizon

8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
GEORGE RD
SITE No.: 696361
PROJECT #: 15160919
NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

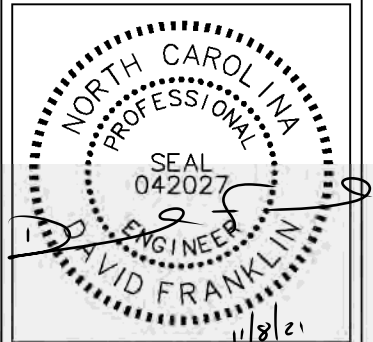
Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

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LICENSER:



KHA PROJECT NUMBER:

013509351

DRAWN BY: **CHECKED BY:**

JAR

CDS

SHEET TITLE:

**FENCE, GATE, AND
COMPOUND
DETAILS**

SHEET NUMBER:

C7

K:\ATL Wireless\000_Verizon\2021 Sites\George_RD\CAD\08\EDC\08.dwg 11/05/21 1:34 PM by: christopher.stronge

NOTE:
CURRENT DESIGN ANTICIPATES APPROXIMATELY 26,850± SQ. FT. (0.62 ACRES) OF CLEARING AND GRADING FOR THE PROPOSED PROJECT. IF ADDITIONAL CLEARING IS REQUIRED BEYOND WHAT IS SHOWN IN THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR PROJECT MANAGER. IF DURING THE BID WALK OR CONSTRUCTION IT IS DETERMINED THAT MORE THAN (1) ACRE OF LAND IS TO BE DISTURBED FOR CONSTRUCTION AN EROSION AND SEDIMENTATION CONTROL PLAN MUST BE FILED 30 DAYS PRIOR TO CONSTRUCTION.

- GRADING NOTES:**
1. THE CONTRACTOR SHALL CLEAR AND GRUB THE SITE AND PLACE, COMPACT, AND MOISTURE CONDITION ALL FILL PER THE PROJECT GEOTECHNICAL ENGINEERS SPECIFICATIONS. FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT.
 2. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
 3. CONTRACTOR SHALL BLEND EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
 4. PORTIONS OF THE SITE NOT SPECIFICALLY MENTIONED WITHIN THE GEOTECHNICAL REPORT SHALL BE COMPACTED TO 95 PERCENT OF THE MATERIALS MAXIMUM DRY DENSITY WITHIN 3 PERCENT OF OPTIMUM MOISTURE CONTENT.
 5. FILL SHALL BE PLACED IN MAXIMUM 8 INCH LOOSE LIFTS.
 6. UNDISTURBED AREAS WITHIN 30' INGRESS/EGRESS EASEMENT NOT NEEDED FOR UTILITY ROUTING TO BE LEFT UNDISTURBED.
 7. GROUND WATER SHOULD BE REASONABLY EXPECTED. ANY DE-WATERING OR MOISTURE CONDITIONING IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHOULD BE INCLUDED IN THE CONTRACT PRICE.
 8. SEED ALL DISTURBED AREAS NOT TOPPED WITH GRAVEL PER SEEDING SCHEDULE ON DETAIL ON SHEET C9.
 9. MAXIMUM CUT SLOPE = 2H:1V UNLESS OTHERWISE NOTED.
 10. MAXIMUM FILL SLOPE = 3H:1V UNLESS OTHERWISE NOTED.

LEGEND

EXISTING CONTOURS

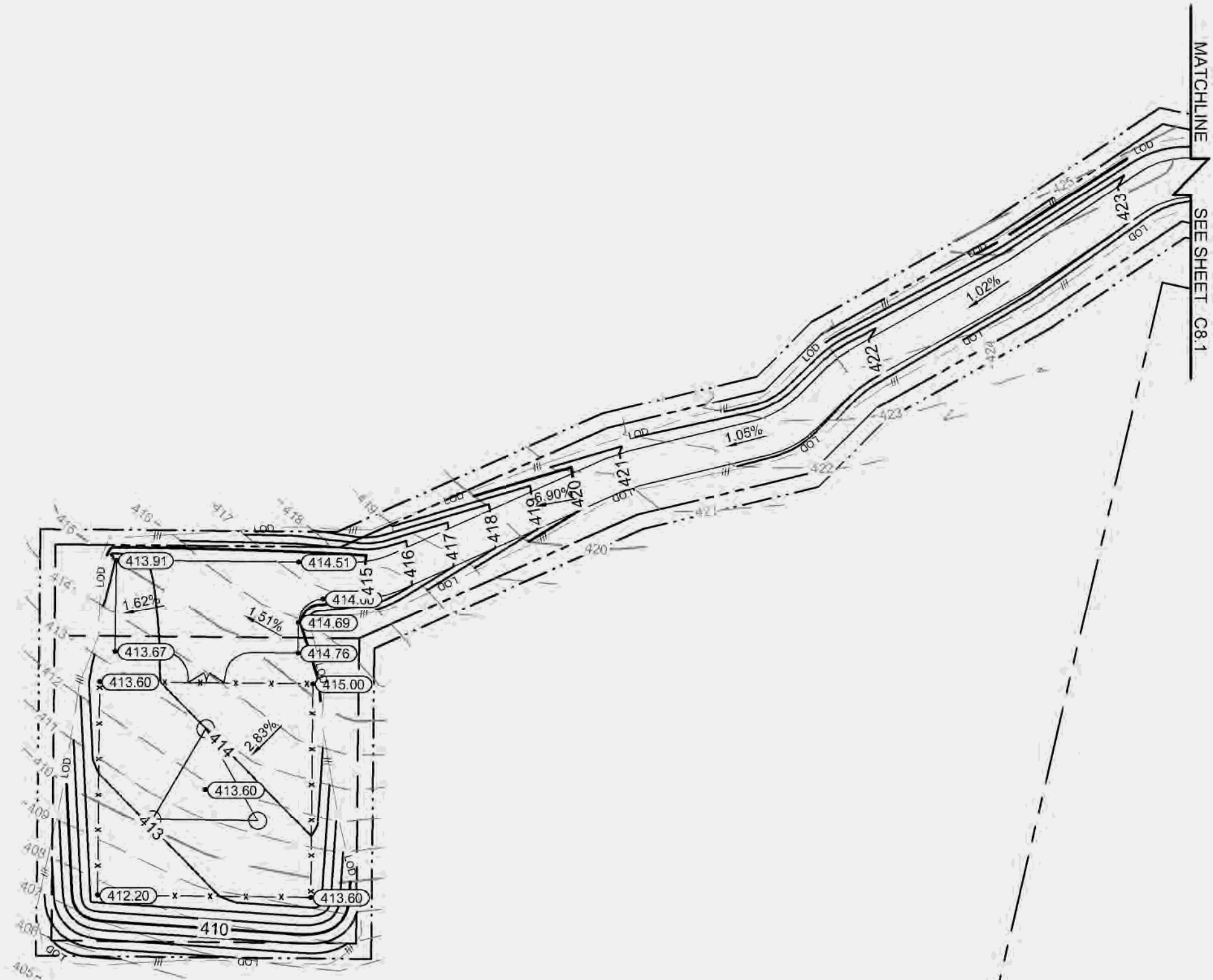
PROPOSED CONTOURS

LOD/SILT FENCE — LOD — ///

TPF — TPF — TPF

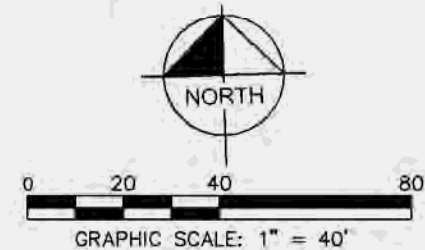
EXISTING SPOT ELEVATION ● XXX

PROPOSED SPOT ELEVATION ● XXX



1 GRADING & EROSION CONTROL PLAN

C8 SCALE: 1" = 40'



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8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

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SITE NAME:
GEORGE RD
SITE No.: 696361
PROJECT #: 15160919
NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

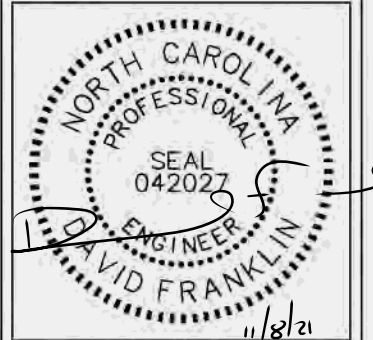
Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

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LICENSER:



KHA PROJECT NUMBER:

013509351

DRAWN BY: CHECKED BY:

JAR

CDS

SHEET TITLE:

**GRADING AND
EROSION
CONTROL PLAN**

SHEET NUMBER:

C8

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LEGEND

EXISTING CONTOURS

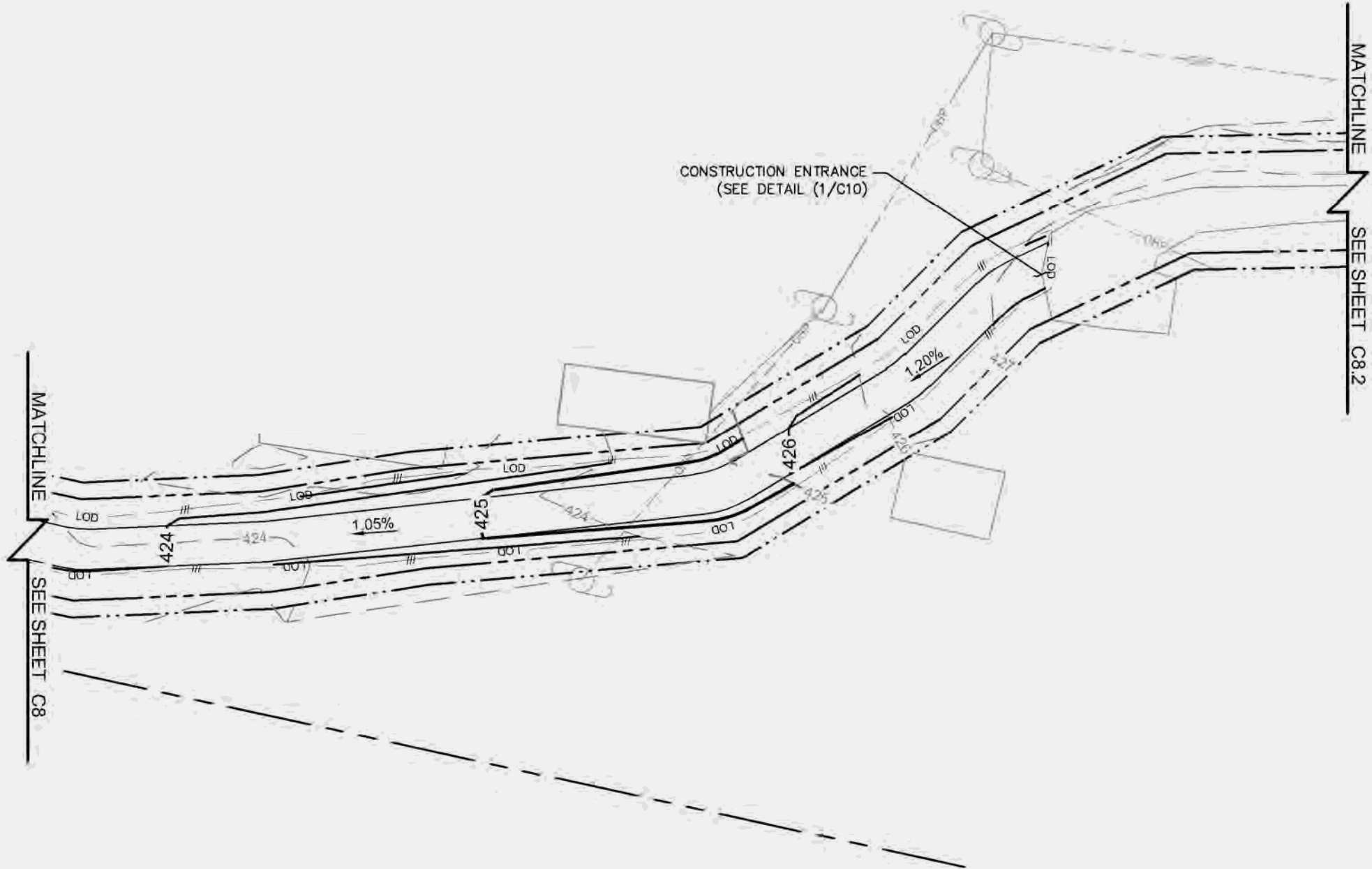
PROPOSED CONTOURS

LOD/SILT FENCE — LOD — ///

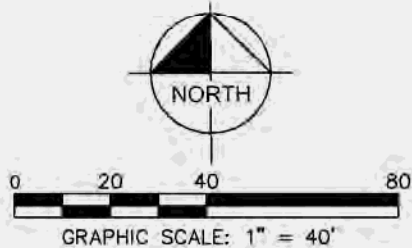
TPF — TPF — TPF

EXISTING SPOT ELEVATION > XXX

PROPOSED SPOT ELEVATION • XXX



1 GRADING & EROSION CONTROL PLAN
C8.1 SCALE: 1" = 40'



verizon

8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

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NC HIGHWAY 22
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MOORE COUNTY

PLANS PREPARED BY:

Kimley»Horn

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ALPHARETTA, GA 30009
PHONE: 770-619-4280
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DRAWN BY: CHECKED BY:

JAR

CDS

SHEET TITLE:

GRADING AND
EROSION
CONTROL PLAN

SHEET NUMBER:

C8.1

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LEGEND

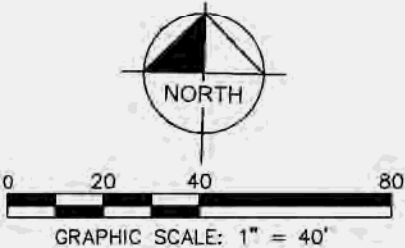
EXISTING CONTOURS _____
PROPOSED CONTOURS _____
LOD/SILT FENCE — LOD — ///
TPF — TPF — TPF —
EXISTING SPOT ELEVATION XXX
PROPOSED SPOT ELEVATION ● XXX

SEE SHEET C8.1
MATCHLINE

EXISTING 15" RCP

NC HIGHWAY 22
(100' PUBLIC R/W PER
PG. 15 SLIDE 822)

1 GRADING & EROSION CONTROL PLAN
C8.2 SCALE: 1" = 40'



verizon

8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
GEORGE RD
SITE No.: 696361
PROJECT #: 15160919
NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 800
ALPHARETTA, GA 30009
PHONE: 770-619-4280
WWW.KIMLEY-HORN.COM
NC License F-0102

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LICENSER:



KHA PROJECT NUMBER:

013509351

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JAR CDS

SHEET TITLE:

**GRADING AND
EROSION
CONTROL PLAN**

SHEET NUMBER:

C8.2

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EROSION CONTROL NOTES:

1. EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND SHALL BE ADEQUATE TO MAINTAIN SEDIMENT ON SITE.
2. ALL EXCAVATED SOILS NOT NEEDED ON SITE FOR BACKFILL OPERATIONS SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE TAKEN OFF SITE AND LEGALLY DISPOSED OF.
3. SOIL REMAINING ON SITE SHALL HAVE SILT FENCE TIGHTLY PLACED AROUND THE ENTIRE CIRCUMFERENCE OF THE PILE.
4. PROVIDE EROSION CONTROLS AS NECESSARY TO PREVENT EXISTING SOILS FROM DRAINING OFF SITE OR INTO EXISTING DRAINAGE STRUCTURES.
5. ERECTION OF EROSION CONTROLS SHALL BE IN ACCORDANCE WITH STATE AND LOCAL EROSION CONTROL REGULATIONS.

SEEDING SCHEDULE FOR WINTER / SPRING CONSTRUCTION ACTIVITIES

SEEDING MIXTURE

Species	Rate (lb/acre)
Rye (groin)	120
Annual lespedeza (Kabe in Piedmont and Coastal Plain, Korean in Mountains)	50

Omit annual lespedeza when duration of temporary cover is not to extend beyond June.

SEEDING DATES

Mountains-- Above 2500 ft: Feb 15 - May 15
Below 2500 ft.: feb. 1 - May 1
Piedmont--Jan. 1 - May 1
Coastal Plain--Dec. 1 - Apr. 15

SOIL AMENDMENTS

Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

MULCH

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

MAINTENANCE

Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.

SEEDING SCHEDULE FOR SUMMER CONSTRUCTION ACTIVITIES

SEEDING MIXTURE

Species	Rate (lb/acre)
Common Bermudagrass	40-80 (1-2 lb/1,000 sq.ft.)

SEEDING DATES

Coastal Plain--Apr. 1 - July
Piedmont--Apr. 15 - June 30

SOIL AMENDMENTS

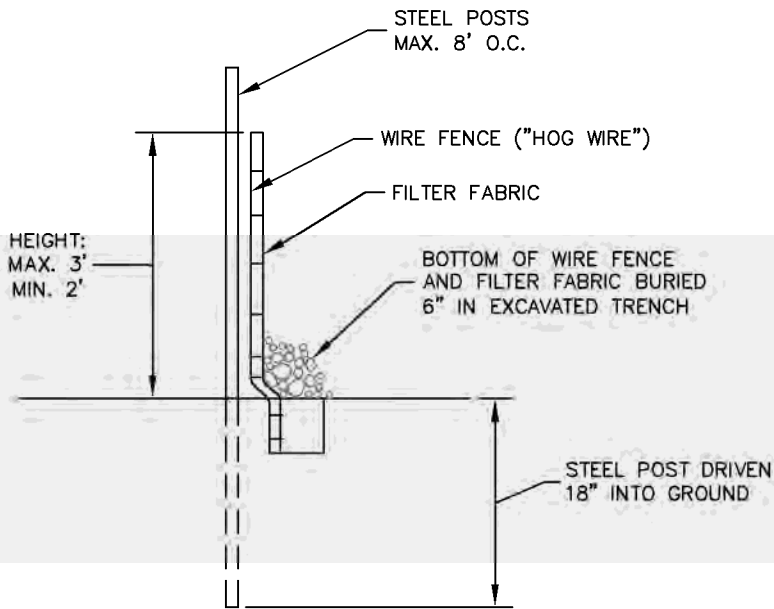
Apply lime and fertilizer according to soil tests, or apply 3,000 lb/acre ground agricultural limestone and 500 lb/acre 10-10-10 fertilizer.

MULCH

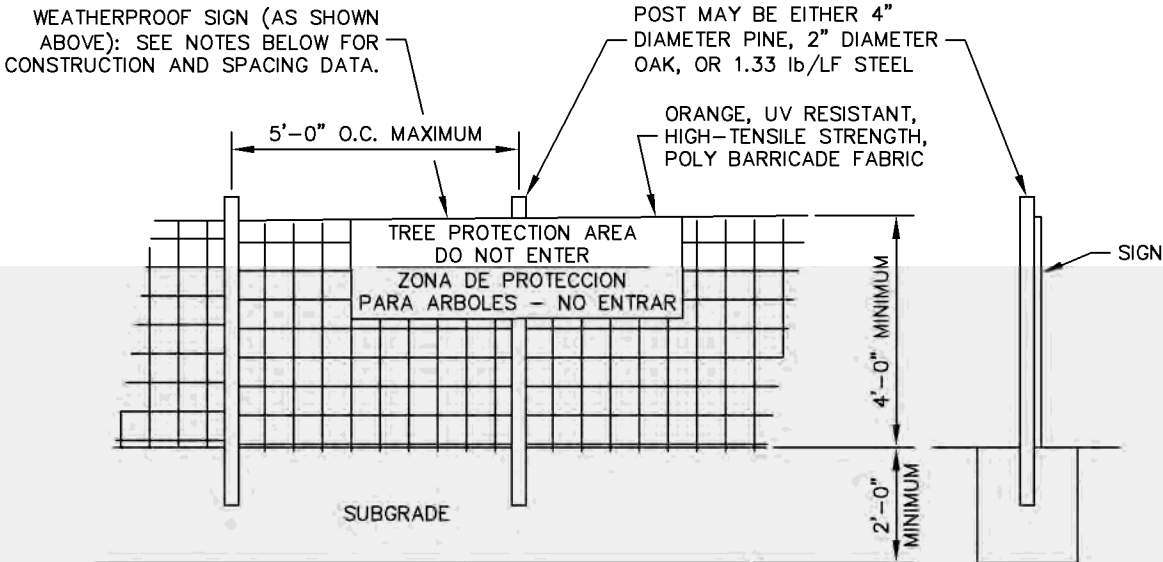
Use jute, excelsior matting, or other effective channel lining material to cover the bottom of channels and ditches. The lining should extend above the highest calculated depth of flow. On channel side slopes above this height, and in drainages not requiring temporary lining, apply 4,000 lb/acre grain straw and anchor straw by stapling netting over the top.

MAINTENANCE

A minimum of 3 weeks is required for establishment. Inspect and repair mulch frequently. Refertilize the following Apr. with 50 lb/acre nitrogen.



SECTION 1 SEDIMENT FENCE (SILT FENCE) C9 NOT TO SCALE



NOTES
INSTALL TREE PROTECTION FENCE AND SIGNAGE PRIOR TO CALLING FOR SITE INSPECTION. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BASED ON ACTUAL FIELD CONDITIONS.

SECTION 2 TREE PROTECTION FENCE C9 NOT TO SCALE

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8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
GEORGE_RD
SITE No.: 696361
PROJECT #: 15160919
NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

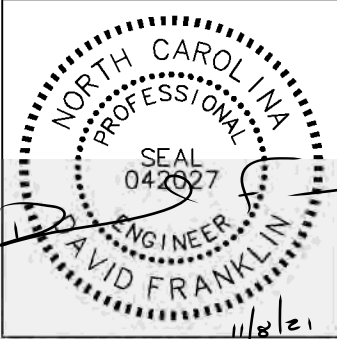
Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 800
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LICENSER:



KHA PROJECT NUMBER:

013509351

DRAWN BY: CHECKED BY:

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CDS

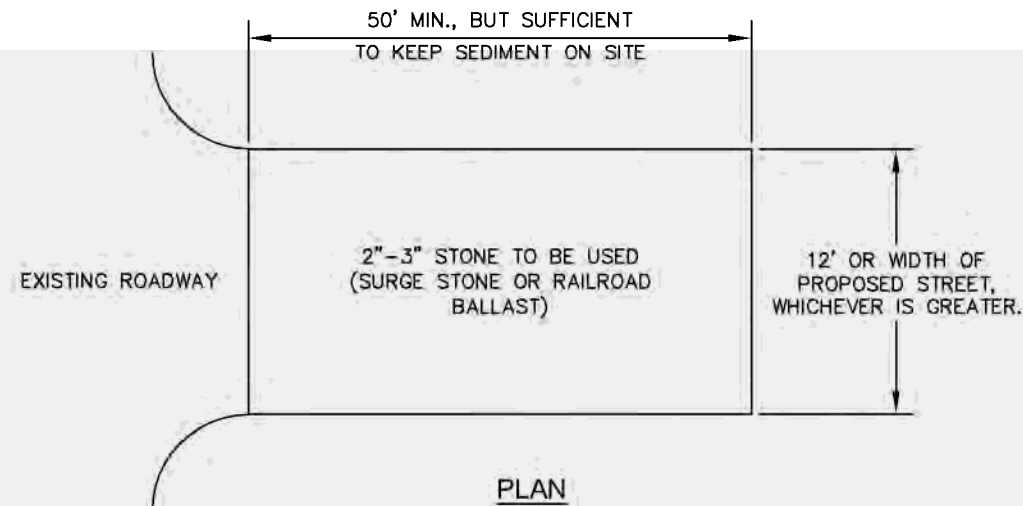
SHEET TITLE:

GRADING AND
EROSION
CONTROL DETAILS

SHEET NUMBER:

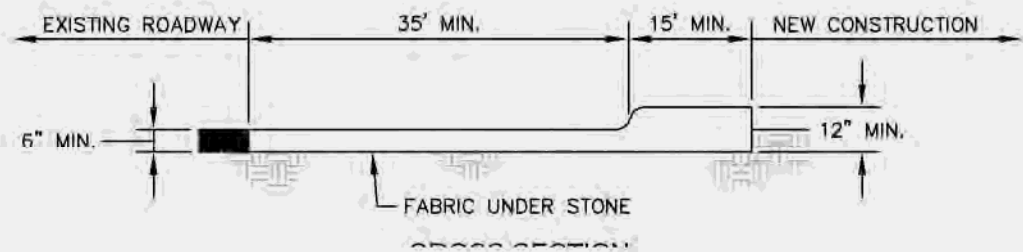
C9

K:\ATL_Wireless\000_Verizon\2021 Sites\George_RD\CAD\08\EDoc-08.dwg 11/05/21 1:35 PM by: christopher.aharange

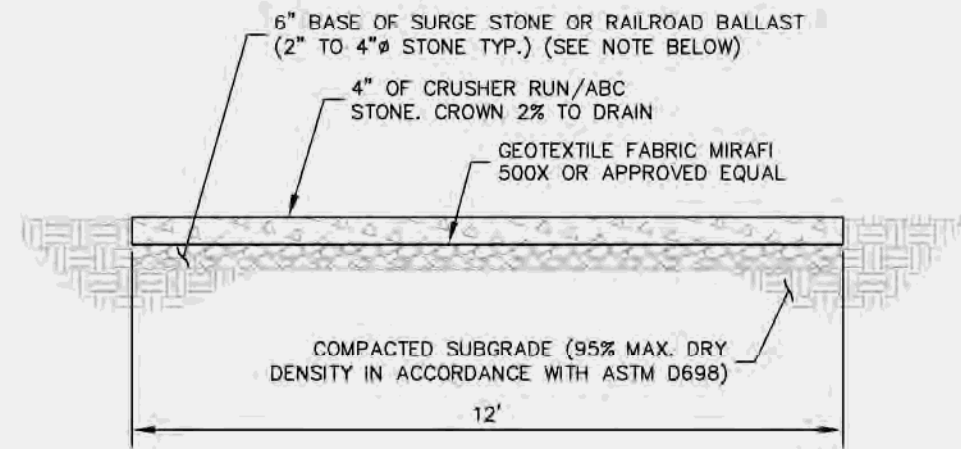


NOTES:

1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
3. IF A PROJECT CONTINUES TO PULL MUD AND DEBRIS ON TO THE PUBLIC ROAD, THE GOVERNING AUTHORITY WILL CLEAN THE AREA AND INVOICE THE FINANCIALLY RESPONSIBLE PERSON AS INDICATED ON THE FINANCIAL RESPONSIBILITY FORM.



1 CONSTRUCTION ENTRANCE
C10 NOT TO SCALE



NOTE:

IF DETERMINED NECESSARY DURING GRADING AND CONSTRUCTION OF THE ACCESS ROAD BY THE VERIZON WIRELESS PROJECT MANAGER, THE CONTRACTOR SHALL INSTALL 6" BASE OF SURGE STONE OR RAILROAD BALLAST (2" TO 4"Ø STONE TYP.)

2 STANDARD ACCESS ROAD AND TURN-AROUND DETAIL
C10 NOT TO SCALE

verizon

8821 RESEARCH DRIVE
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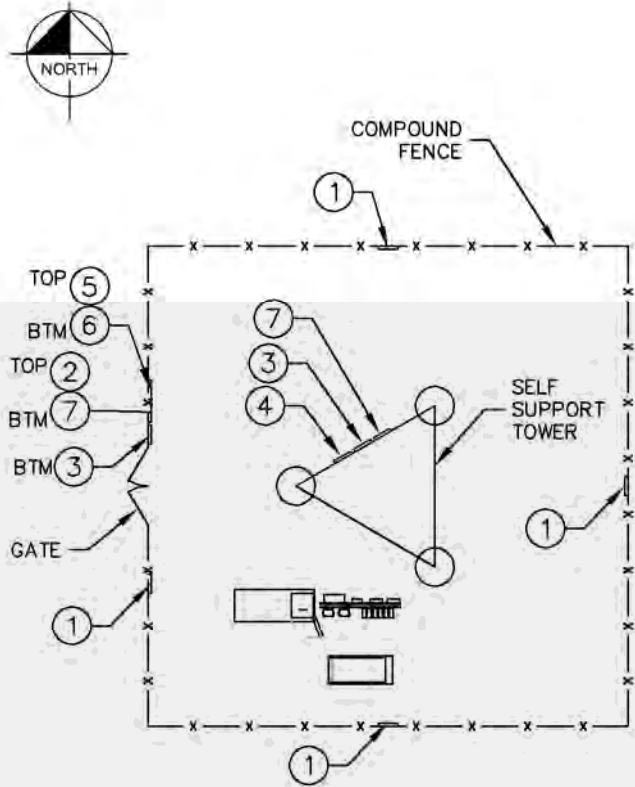
SHEET TITLE:

ACCESS ROAD
DETAILS

SHEET NUMBER:

C10

K:\ATL_Wireless\000_Verizon\2021 Sites\George_RD\CAD\GB\EDar-GB.dwg 11/05/21 1:35 PM by: christopher strange



NOTE: SEE TYPICAL SIGNS AND SPECIFICATIONS
DETAIL ON THIS SHEET FOR SIGN DESIGNATIONS.

1 SIGN PLACEMENT PLAN VIEW
C11 NOT TO SCALE



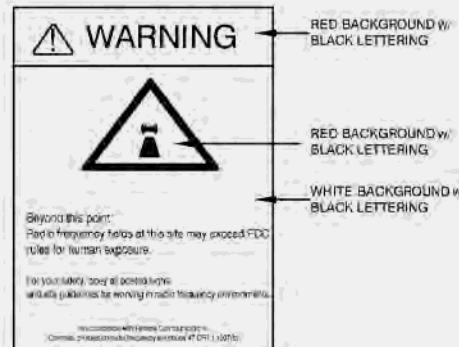
1 NO-TRESPASSING SIGN
18" HIGH X 24" WIDE
(OPERATIONS PROVIDED)



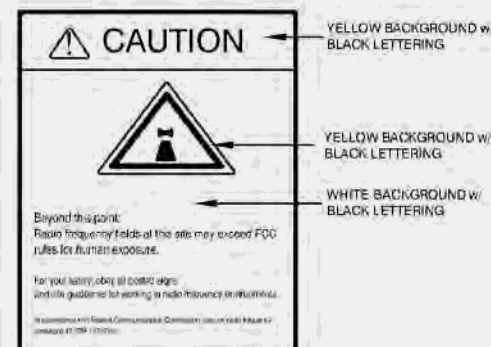
2 VERIZON WIRELESS - SITE ID SIGN
15" HIGH X 23" WIDE
(OPERATIONS PROVIDED)



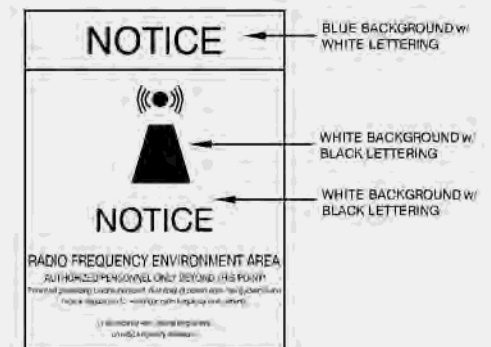
3 NOTICE-RFE SIGN
12" HIGH X 18" WIDE
(OPERATIONS PROVIDED)



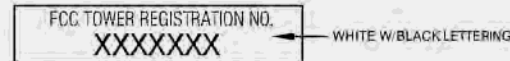
4 WARNING-RF SIGN (RED)
12" WIDE X 18" HIGH



5 CAUTION-RF SIGN (YELLOW)
12" WIDE X 18" HIGH

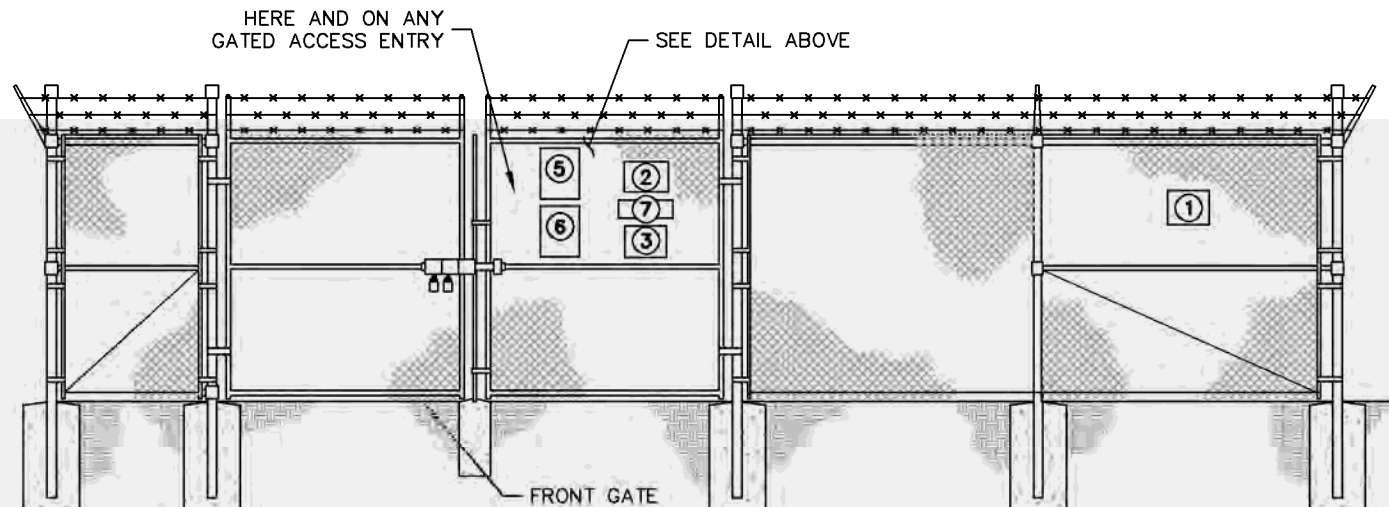


6 NOTICE-RF SIGN (BLUE)
12" WIDE X 18" HIGH



7 FCC REGISTRATION SIGN
20 WIDE X 4" HIGH

2 TYPICAL SIGNS AND SPECIFICATIONS
C11 NOT TO SCALE



3 SIGN PLACEMENT FRONT GATE VIEW
C11 NOT TO SCALE

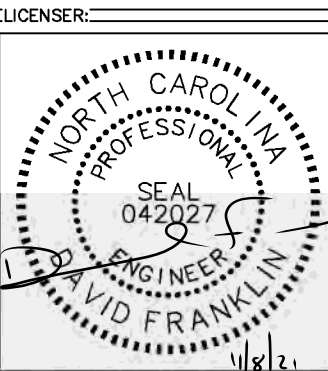
SIGNAGE NOTES:
1. SIGNS SHALL BE FABRICATED FROM CORROSION RESISTANT PRESSED METAL, AND PAINTED WITH LONG LASTING UV RESISTANT COATINGS.
2. SIGNS (EXCEPT WHERE NOTED OTHERWISE) SHALL BE MOUNTED TO THE TOWER, GATE, AND FENCE USING A MINIMUM OF 9 GAUGE ALUMINUM WIRE, HOG RINGS (AS UTILIZED IN FENCE INSTALLATIONS) OR BRACKETS WHERE NECESSARY. BRACKETS SHALL BE OF SIMILAR METAL AS THE STRUCTURE TO AVOID GALVANIC CORROSION.

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KHA PROJECT NUMBER:
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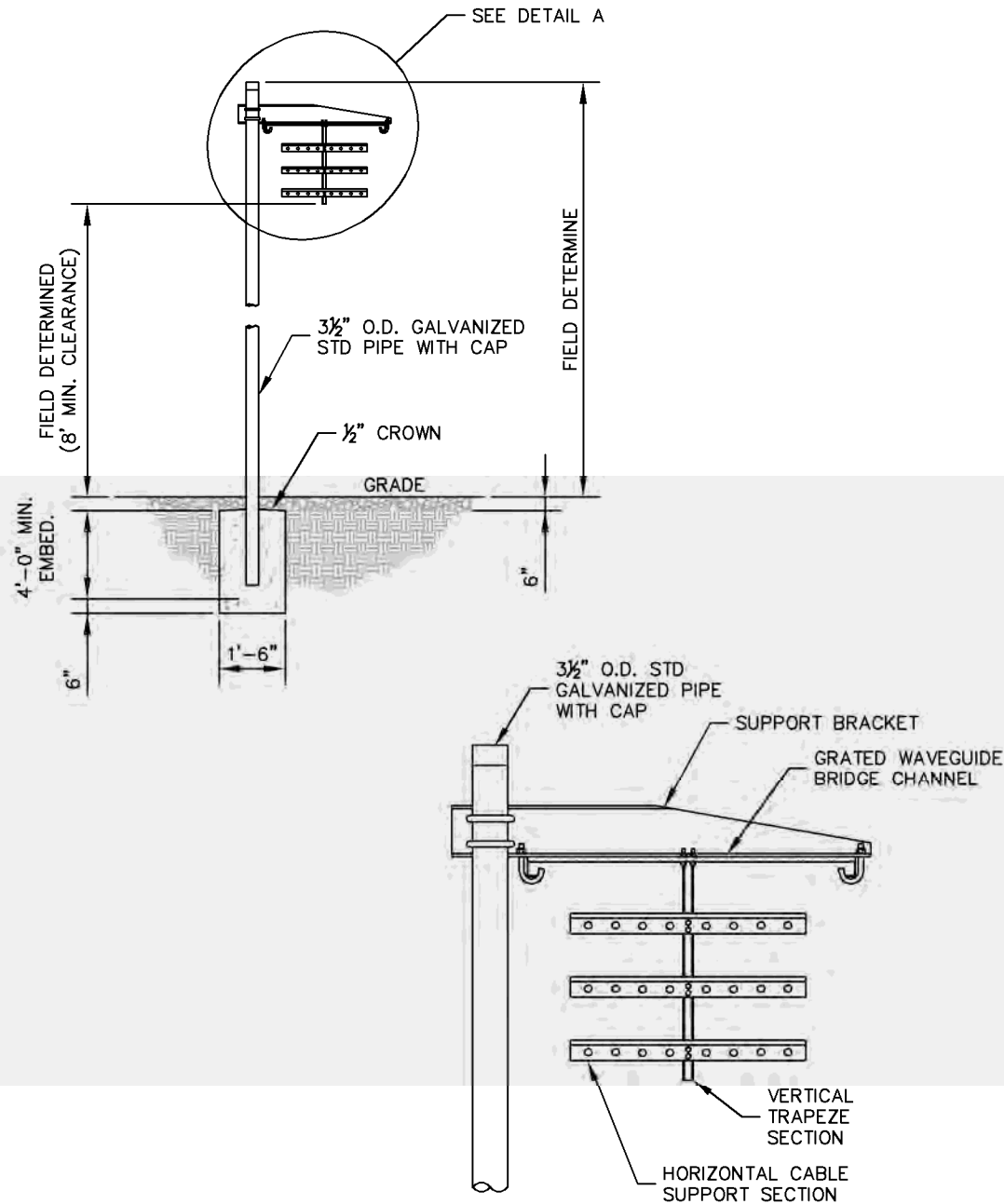
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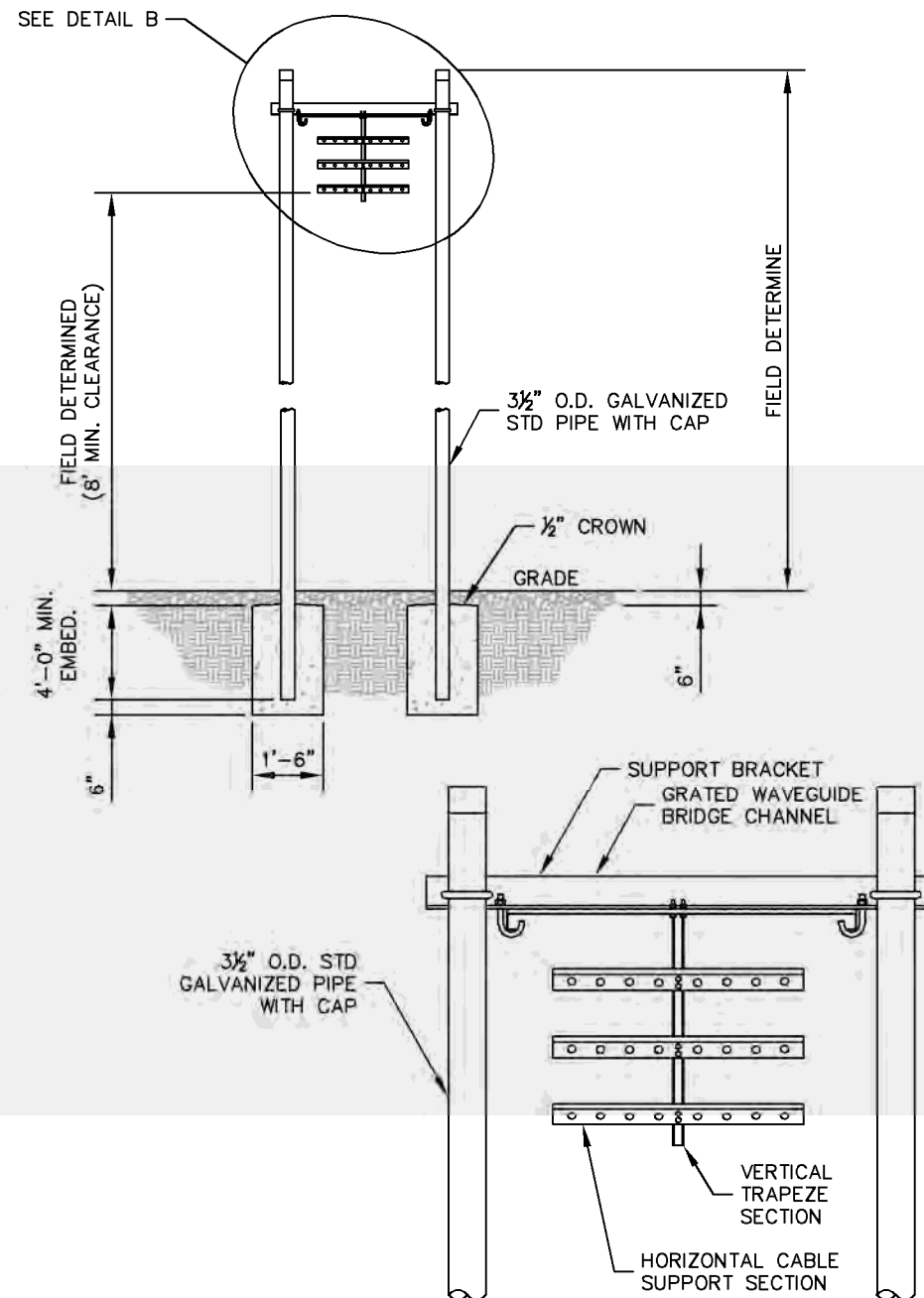
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NOTE:

1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.

1 WAVEGUIDE BRIDGE DETAIL
C12 NOT TO SCALE



NOTE:

1. ALL MATERIALS FURNISHED BY CONTRACTOR UNLESS OTHERWISE NOTED.

2 WAVEGUIDE BRIDGE DETAIL (ALT DESIGN - 2 PIPE COLUMNS)
C12 NOT TO SCALE

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8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
GEORGE_RD
SITE No.: 696361
PROJECT #: 15160919
NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

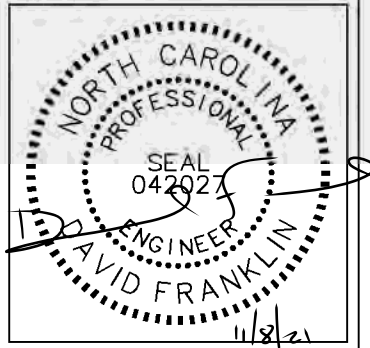
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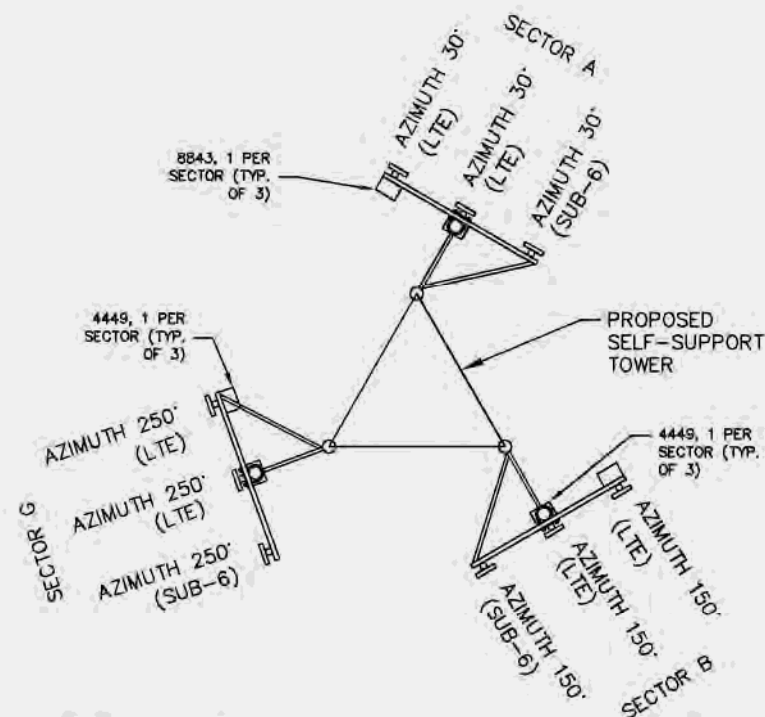
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SHEET TITLE:

WAVEGUIDE
BRIDGE DETAILS

SHEET NUMBER:

C12



1 ANTENNA ORIENTATION PLAN

(NOT TO SCALE, FOR ILLUSTRATIVE PURPOSES ONLY, SEE STRUCTURAL ANALYSIS BY OTHERS TO CONFIRM ANTENNA MOUNT TYPE)

NOTE:
REFER TO RFDS PROVIDED BY VERIZON. CONTRACTOR TO CONTACT THE VERIZON WIRELESS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR THE CONSTRUCTION RFDS.

NOTES:
1. ALL INFORMATION ON THIS PAGE IS PROVIDED BY VERIZON WIRELESS AND/OR OTHERS AND IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. CONTRACTOR SHALL CONTACT THE VERIZON WIRELESS CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION FOR ALL DETAILED ANTENNA, AND COAX CABLE INFORMATION.

2. REFER TO STRUCTURAL ANALYSIS BY TOWER OWNER FOR ANALYSIS OF PROPOSED TOWER.

3. IT IS UNDERSTOOD THAT KIMLEY-HORN MAKES NO WARRANTY, EITHER EXPRESSED OR IMPLIED, FINDINGS, DESIGNS, RECOMMENDATIONS, SPECIFICATIONS, OPINION, OR PROFESSIONAL ADVICE RELATING TO THE STRUCTURAL ADEQUACY OF THE PROPOSED TOWER OR ATTACHMENT OF ANTENNAS OR OTHER APPURTENANCES.

NOTE: GENERAL CONTRACTOR TO INSTALL RAYCAP OVP, NUMBER AND TYPE PER VERIZON CONSTRUCTION MANAGER.

BEACON PER FAA REQUIREMENTS.
EXTEND BEACON ABOVE TOP OF ANTENNAS
PER VERIZON WIRELESS REQUIREMENTS.

TOP OF TOWER
EL. 255' A.G.L.

TOP OF LIGHTNING ROD
EL. 259' A.G.L.

PROPOSED LESSEE ANTENNAS
EL. 250' A.G.L.

FUTURE ANTENNAS

FUTURE ANTENNAS

FUTURE ANTENNAS

FUTURE ANTENNAS

TOWER OBSTRUCTION LIGHTS

PROPOSED 255'
SELF SUPPORT TOWER

PROPOSED CHAIN
LINK SECURITY FENCE

PROPOSED LESSEE 10' X 4'
CONCRETE PAD WITH
EQUIPMENT CABINET

EXISTING GRADE
(±0' A.G.L.)

2 SELF-SUPPORT TOWER ELEVATION

NOT TO SCALE

NOTES:

1. ALL PROPOSED ATTACHMENTS TO TOWER BASED ON TOWER DESIGN DRAWINGS BY OTHERS (SEE GENERAL NOTE 1.07, SHEET N1).
2. THE TOWER ELEVATION SHOWN IS FOR REFERENCE ONLY.
3. COAX/FIBER CABLE LENGTHS ARE APPROXIMATE. CONTRACTOR TO VERIFY CORRECT LENGTH IN FIELD AT TIME OF CONSTRUCTION.
4. PROPOSED TOWER WILL BE GALVANIZED STEEL-GRAY IN COLOR.

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FOR ILLUSTRATIVE
PURPOSES ONLY-
NO SIGNATURE
REQUIRED

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SHEET TITLE:

ANTENNA AND
TOWER ELEVATION
DETAILS

SHEET NUMBER:

C13

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ELECTRICAL NOTES

1.00 CODES, STANDARDS, & SPECIFICATIONS

- 1.01 IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL MATERIALS AND LABOR RELATED DIRECTLY OR INDIRECTLY TO ALL ELECTRICAL WORK DOCUMENTED IN THESE DRAWINGS SHALL BE PROVIDED AND PERFORMED IN CONFORMANCE WITH ALL CURRENT GOVERNING CODES, STANDARDS, AND PROFESSIONAL STANDARD OF CARE TO INCLUDE THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), UNDERWRITERS LABORATORY (UL), NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION (NEMA), AMERICAN STANDARDS ASSOCIATION (ASA), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AND THE NATIONAL ELECTRICAL CODE (NEC).
- 1.02 MATERIALS SHALL BE NEW AND SHALL CONFORM TO ALL APPLICABLE CURRENT GOVERNING STANDARDS ESTABLISHED FOR EACH ITEM BY ASTM, UL, NEMA, ASA, AND NFPA.
- 1.03 ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE STATE, COUNTY, AND MUNICIPAL CODES AND ORDINANCES, AS WELL AS ALL CURRENT GOVERNING STANDARDS AND PRACTICES AS REQUIRED BY NEC, NEMA, ANSI, NFPA, UBC, UL, IEEE, AND THE LOCAL UTILITY COMPANY.
- 1.04 ALL ELECTRICAL GROUNDING SHALL COMPLY WITH THE CURRENT EDITION OF THE NEC.
- 1.05 CONTRACTOR SHALL MAINTAIN UL LISTED FIRE RATINGS AT ALL WALL PENETRATIONS.
- 1.06 CONTRACTOR SHALL MAINTAIN A MINIMUM CLEARANCE OF 36" IN FRONT OF ALL ELECTRICAL EQUIPMENT AS REQUIRED BY NEC. MINIMUM CLEARANCE SHALL BE OBSERVED FOR BOTH THE FRONT AND THE REAR OF THE METER H-FRAME RACK AND THE EQUIPMENT H-FRAME RACK.

2.00 GENERAL

- 2.01 CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND ASSOCIATED FEES RELATED TO THE PROJECT AND SHALL DELIVER A COPY OF ALL PERMITS TO THE VERIZON REPRESENTATIVE.
- 2.02 CONTRACTOR SHALL SCHEDULE AND SHOULD ATTEND ALL INSPECTIONS REQUIRED BY THE JURISDICTION HAVING AUTHORITY.
- 2.03 CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, ACCESSORIES, ETC., FOR A COMPLETE WORKING ELECTRICAL INSTALLATION.
- 2.04 ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH APPLICABLE BUILDING CODES AND LOCAL ORDINANCES, INSTALLED IN A NEAT MANNER, AND SHALL BE SUBJECT TO APPROVAL BY THE ENGINEER.
- 2.05 CONTRACTOR SHALL PROTECT ADJACENT EQUIPMENT AND FINISHES FROM DAMAGE AND SHALL REPAIR TO ORIGINAL CONDITION ANY ITEMS DAMAGED AS A RESULT OF THE WORK.
- 2.06 CONTRACTOR SHALL REPAIR ANY LANDSCAPING DISTURBED DURING CONSTRUCTION.
- 2.07 IF CONDUIT RUNS HAVE MORE THAN THREE (3) CONSECUTIVE 90 DEGREE TURNS, THE CONTRACTOR SHALL INSTALL PULL BOXES AS REQUIRED BY NEC.
- 2.08 CONTRACTOR SHALL INDICATE THE LOCATION OF ALL CAPPED UNDERGROUND SPARE CONDUIT ON THE RECORD DRAWINGS SUBMITTED TO THE OWNER.
- 2.09 CONTRACTOR SHALL COORDINATE EXACT ROUTING OF CONDUIT WITH OWNER. ALL CONDUIT SHALL BE ROUTED WITHIN 3 FEET, EITHER SIDE, OF PERIMETER FENCING.

3.00 MATERIALS

- 3.01 ALL EQUIPMENT AND MATERIALS SHOWN SHALL BE CONSIDERED NEW UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
- 3.02 FINAL CONNECTIONS OF EQUIPMENT SHALL BE PER MANUFACTURER'S APPROVED WIRING DIAGRAMS, DETAILS, AND INSTRUCTIONS. THE ELECTRICAL CONTRACTOR SHALL PROVIDE MATERIALS AND EQUIPMENT COMPATIBLE WITH EQUIPMENT SUPPLIED BY VERIZON.
- 3.03 CONTRACTOR SHALL PROVIDE AN UPDATED PANELBOARD DIRECTORY FOR THE PANEL FROM WHICH THE NEW VERIZON EQUIPMENT CIRCUIT WILL BE CONNECTED. CONTRACTOR SHALL SUBMIT UPDATED DIRECTORY IN A PLASTIC COVER TO THE BUILDING OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- 3.04 CONTRACTOR SHALL FIELD DETERMINE ACTUAL CONDUIT ROUTING AND SHALL OBTAIN APPROVAL FROM THE TOWER OWNER OF THE PROPOSED ROUTING PRIOR TO CONDUIT INSTALLATION.
- 3.05 ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION AND ALL TERMINATIONS SHALL BE RATED FOR AT LEAST 75 DEGREES CELSIUS.
- 3.06 ALL NEUTRAL CONDUCTORS SHALL HAVE WHITE INSULATION. ALL GROUND CONDUCTORS SHALL HAVE GREEN INSULATION. COLOR TAPE IDENTIFICATION OF THESE CONDUCTORS IS NOT PERMITTED.
- 3.07 CONTRACTOR SHALL SEAL ALL CONDUITS ENTERING AN ENCLOSURE WITH CONDUIT SEALANT THAT IS COMPATIBLE WITH THE INSULATION OF THE CONDUCTORS IN THE CONDUIT.
- 3.08 CONDUIT RUNS SHALL HAVE A CONTINUOUS DOWNWARD SLOPE AWAY FROM ALL EQUIPMENT TO PREVENT WATER INFILTRATION.
- 3.09 ALL CONDUIT SHALL BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE ON THE PLANS. WHEN CONDUIT IS ROUTED UNDER A ROADWAY, SCHEDULE 80 PVC CONDUIT SHALL BE UTILIZED. MANUFACTURED BEND RADII SHALL BE PER NEC.
- 3.10 CONTRACTOR SHALL PROVIDE TWO (2) 200 POUND TEST POLYETHYLENE PULL CORDS IN ALL CONDUITS AND ALL INNERDUCTS. PULL CORDS SHALL BE SECURED AT EACH END OF CONDUIT RUNS. ALL SPARE CONDUIT ENDS SHALL BE CAPPED WITH MANUFACTURED PVC FITTINGS.
- 3.11 CONTRACTOR SHALL BOND EACH METALLIC CONDUIT ENTERING A METALLIC ENCLOSURE WITH A #8 MIN AWG INSULATED COPPER BONDING JUMPER PER NEC. CONTRACTOR SHALL BOND ALL ELECTRICAL EQUIPMENT TO THE H-FRAME RACK ON WHICH EQUIPMENT IS MOUNTED WITH #8 MIN AWG INSULATED COPPER BONDING JUMPERS PER NEC.
- 3.12 CONTRACTOR SHALL IDENTIFY THE END OF ALL SPARE UNDERGROUND CONDUITS AND PROVIDE AND INSTALL 90 DEGREE ELBOWS WITH VERTICAL CONDUIT EXTENSIONS TO EXTEND 3" ABOVE FINISHED CRUSHED AGGREGATE GRADE. CONTRACTOR SHALL TERMINATE CONDUITS WITH MANUFACTURED CONDUIT CAPS THAT THE CONTRACTOR HAS PAINTED ORANGE.
- 3.13 CONTRACTOR SHALL PROVIDE AND INSTALL AN ENGRAVED PHENOLIC PLATE ON THE FRONT OF THE INTEGRATED LOAD CENTER. THE WORDING ON THE PLATE SHALL READ AS FOLLOWS: "MAXIMUM DRAW OF ALL RECTIFIERS AND EQUIPMENT ON THE LOAD CENTER CANNOT EXCEED 50kW. IF ADDITIONAL POWER IS REQUIRED, THE EXISTING 50kW GENERATOR MUST BE REPLACED."

4.00 PRE-CONSTRUCTION COORDINATION

- 4.01 CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID AND NOTE EXISTING CONDITIONS THAT MIGHT AFFECT THEIR WORK. ALL SUCH CONDITIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO BID.
- 4.02 THE CONTRACTOR SHALL PROVIDE A UTILITY LOCATOR AND SHALL VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- 4.03 CONTRACTOR SHALL VERIFY, PRIOR TO ROUGH-IN, THAT SITE CONDITIONS ALLOW FOR THE PLACEMENT OF THE ELECTRICAL EQUIPMENT AS SHOWN ON THE PLANS.
- 4.04 CONTRACTOR SHALL COORDINATE WITH LOCAL ELECTRICAL UTILITY REGARDING THE EXACT LOCATION OF THE TRANSFORMER, ALL METERING REQUIREMENTS, AND CONDUIT ROUTING BETWEEN TRANSFORMER AND METER.
- 4.05 CONTRACTOR SHALL COORDINATE WITH LOCAL TELCO UTILITY REGARDING THE EXACT LOCATION OF THE TELCO SERVICE ENTRY POINT.
- 4.06 CONTRACTOR SHALL COORDINATE WITH AUTHORITY HAVING JURISDICTION REGARDING LOCAL FROST LINE REQUIREMENTS FOR RACEWAY MATERIAL SELECTION AND INSTALLATION.
- 4.07 CONTRACTOR SHALL PERFORM AN ARC FLASH ANALYSIS AT THE INTEGRATED LOAD CENTER AND PROVIDE ARC FLASH LABEL PER NEC.
- 4.08 ALL CIRCUIT BREAKERS AND EQUIPMENT SHALL HAVE A MINIMUM AIC RATING OF 10,000 AMPS. IF THE RATING OF THE UTILITY TRANSFORMER PROVIDING THE ELECTRICAL SERVICE IS GREATER THAN 75 kVA, THE CONTRACTOR SHALL PERFORM A SHORT CIRCUIT ANALYSIS TO DETERMINE THE REQUIRED AIC RATING FOR THE CIRCUIT BREAKERS AND EQUIPMENT. PRIOR TO PURCHASING EQUIPMENT, THE CONTRACTOR SHALL CONTACT THE ELECTRIC UTILITY AND OBTAIN IN WRITING THE MAXIMUM AVAILABLE FAULT CURRENT (AFC) AT THE UTILITY SERVICE POINT. PROVIDE MAX. AFC SIGNAGE AS REQUIRED PER NEC 110.24. THE CONTRACTOR SHALL ENSURE ALL ELECTRICAL EQUIPMENT, CIRCUIT BREAKERS, DISCONNECTS, FUSES, AND PANELBOARDS HAVE A FAULT CURRENT INTERRUPTING RATING GREATER THAN THE AVAILABLE FAULT CURRENT.



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PROJECT INFORMATION:

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SITE No.: 696361
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BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

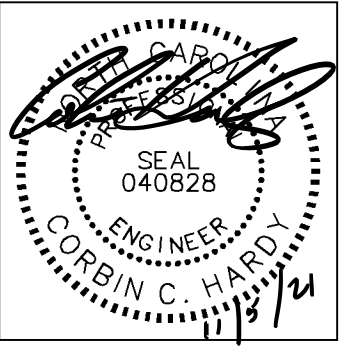


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KHA PROJECT NUMBER:

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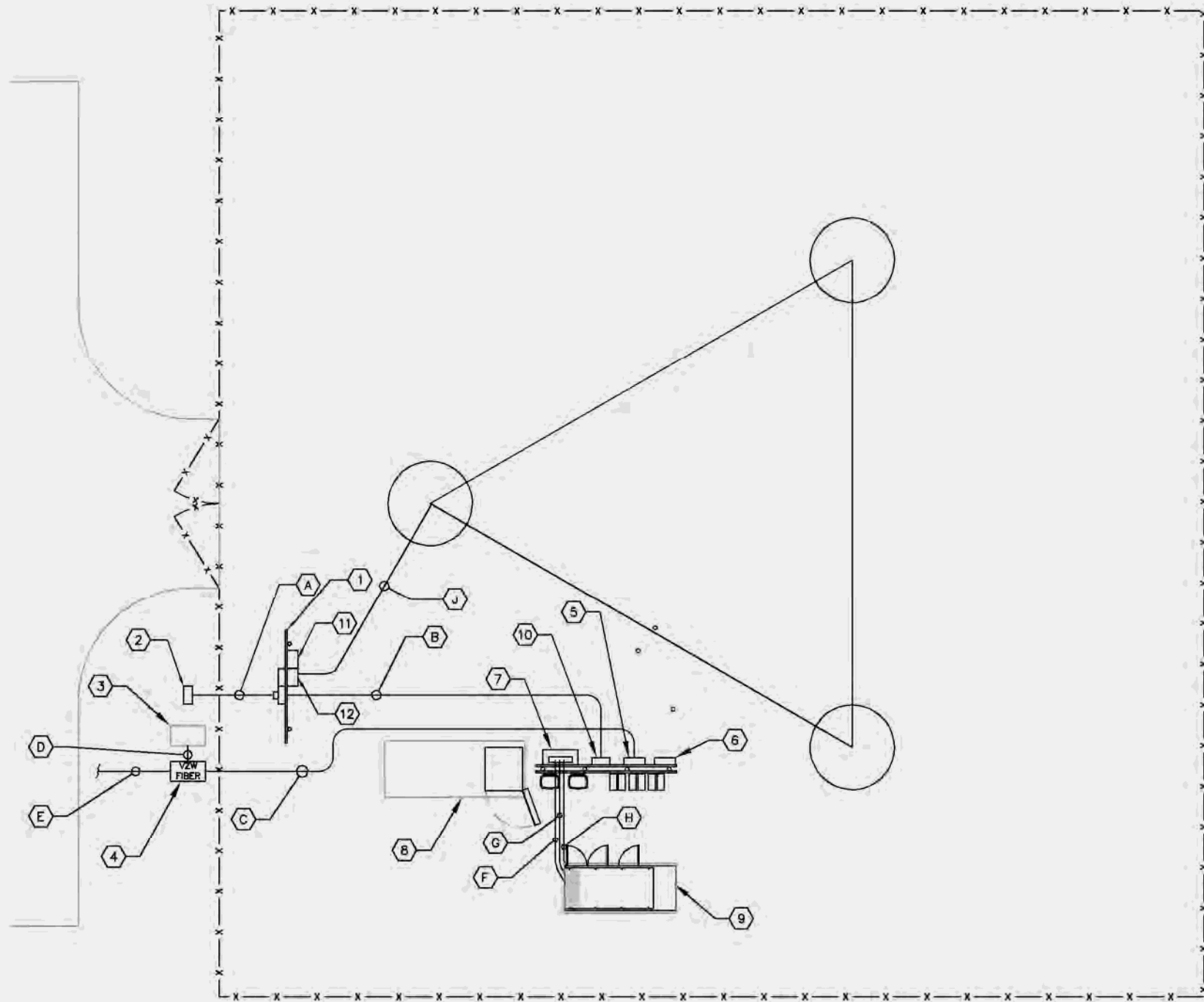
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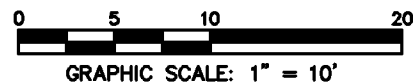
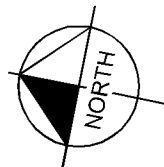
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1
E2

UTILITY SERVICE ROUTING PLAN

SCALE: 1" = 10'



KEY NOTES - ELECTRICAL EQUIPMENT

- ① UTILITY METER H-FRAME (SEE DETAIL 1/E4).
- ② POWER STUB UP (SEE NOTE 4.04 ON SHEET E1).
- ③ EXISTING LIT FIBER HANDHOLE/PEDESTAL. (CONTRACTOR TO CONFIRM EXISTENCE AND LOCATION).
- ④ TRAFFIC RATED TELCO VAULT LABELED "VZW FIBER". (SEE NOTE 4.05 ON SHEET E1)
- ⑤ TELCO BOX (SEE SHEET C4).
- ⑥ CIENA UNIT, IF NEEDED (SEE SHEET C4).
- ⑦ INTEGRATED LOAD CENTER (SEE SHEET C4).
- ⑧ VERIZON CONCRETE EQUIPMENT PAD (SEE SHEET C6).
- ⑨ VERIZON CONCRETE GENERATOR PAD (SEE SHEET C6).
- ⑩ DISCONNECT SWITCH (SEE SHEET C4).
- ⑪ HAZARD LIGHTING CONTROL PANEL (SEE SHEET E4.1).
- ⑫ LGT PANEL (SEE SHEET E4.1).

KEY NOTES - CONDUIT, CONDUCTORS, & MISC.

- A TWO (2) 4" PVC POWER CONDUITS FOR INCOMING SERVICE LATERALS FROM LOCAL UTILITY (SEE TRENCH DETAIL 2/E7).
- B 2" PVC POWER CONDUIT FROM PROPOSED METER RACK TO EQUIPMENT RACK (SEE TRENCH DETAIL 2/E7).
- C TWO (2) 2" PVC TELCO CONDUITS, WITH TWO (2) PULL ROPES EACH (SEE TRENCH DETAIL 2/E7).
- D 4" PVC BRIDGE FIBER CONDUIT. (IF NO EXISTING LIT FIBER HANDHOLE/PEDESTAL IS PRESENT CONTRACTOR TO PROVIDER A 5' LONG CAPPED STUB BRIDGE CONDUIT).
- E TWO (2) 2" PVC CONDUITS FROM RIGHT OF WAY W/TWO (2) PULL ROPES (SEE TRENCH DETAIL 2/E7 AND SHEET E3).
- F 2" PVC CONDUIT FOR ROUTING POWER CONDUCTOR TO THE GENERATOR. (SEE TRENCH DETAIL 2/E7).
- G 1" PVC CONDUIT FOR ROUTING GENERATOR CONTROL AND ALARM SIGNAL CABLES TO THE GENERATOR (SEE TRENCH DETAIL 2/E7).
- H 1" PVC CONDUIT FOR ROUTING POWER CONDUCTOR TO THE GENERATOR BATTERY CHARGER AND THE GENERATOR BLOCK HEATER (SEE TRENCH DETAIL 2/E7).
- J 1" PVC POWER CONDUIT FROM PROPOSED HAZARD LIGHTING CONTROL PANEL ON METER RACK TO TOWER LIGHTING.

NOTES:

GENERAL CONTRACTOR IS TO CONFIRM WITH VERIZON CONSTRUCTION MANAGER WHETHER INSTALLATION OF THE TWO (2) 2" CONDUITS TO THE RIGHT OF WAY WILL BE PART OF THE INITIAL CONSTRUCTION.

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8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
GEORGE RD
SITE No.: 696361
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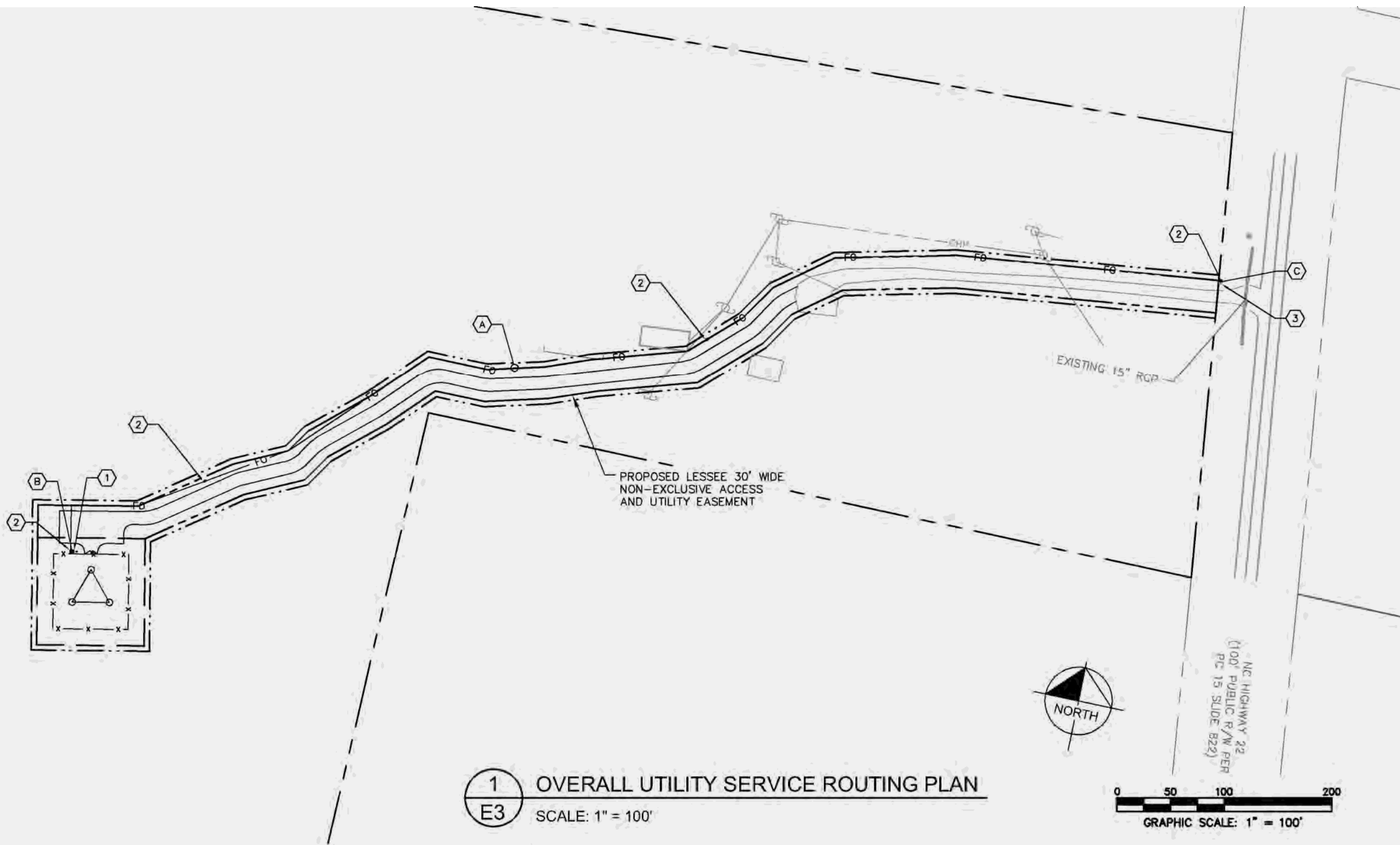
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UTILITY SERVICE
ROUTING PLAN

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1 OVERALL UTILITY SERVICE ROUTING PLAN
E3 SCALE: 1" = 100'

KEY NOTES - ELECTRICAL EQUIPMENT

- 1 EXISTING LIT-FIBER HANDHOLE/PEDESTAL.
- 2 TRAFFIC RATED TELCO VAULT LABELED "VZW FIBER". (SPACED EVERY 500', AT MAJOR TRANSITIONS, AND AS NEEDED TO ALLOW DARK FIBER TO BE PULLED)(SEE NOTE 4.05 ON SHEET E1)
- 3 EXISTING ONE FIBER HANDHOLE (CONTRACTOR TO CONFIRM EXISTENCE AND LOCATION)

KEY NOTES - CONDUIT, CONDUCTORS, & MISC.

- A TWO (2) 2" PVC CONDUIT FOR "VZW FIBER" WITH TWO (2) PULL ROPES. (SEE DETAIL 2/E6); (APPROXIMATELY 1,175± LF); GENERAL CONTRACTOR TO CONFIRM NEED FOR CONDUITS TO RIGHT OF WAY AND HANDHOLE AT RIGHT OF WAY WITH VERIZON CONSTRUCTION MANAGER.
- B 4" PVC BRIDGE FIBER CONDUIT. (IF NO EXISTING LIT FIBER HANDHOLE/PEDESTAL IS PRESENT CONTRACTOR TO PROVIDER A 5' LONG CAPPED STUB BRIDGE CONDUIT).
- C 4" PVC BRIDGE FIBER CONDUIT. (IF NO EXISTING ONE FIBER HANDHOLE IS PRESENT, BRIDGE CONDUIT WILL BE BY OTHERS)

NOTES:

GENERAL CONTRACTOR IS TO CONFIRM WITH VERIZON CONSTRUCTION MANAGER WHETHER INSTALLATION OF THE TWO (2) 2" CONDUITS TO THE RIGHT OF WAY WILL BE PART OF THE INITIAL CONSTRUCTION.

PROPOSED VERIZON TELCO VAULT WITHIN RIGHT OF WAY LOCATED APPROXIMATELY 35° 30' 25.8"N, 79° 31' 44.1"W BASED ON GOOGLE EARTH IMAGERY.

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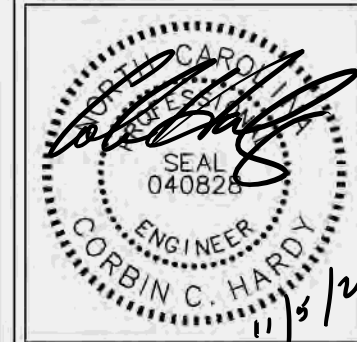
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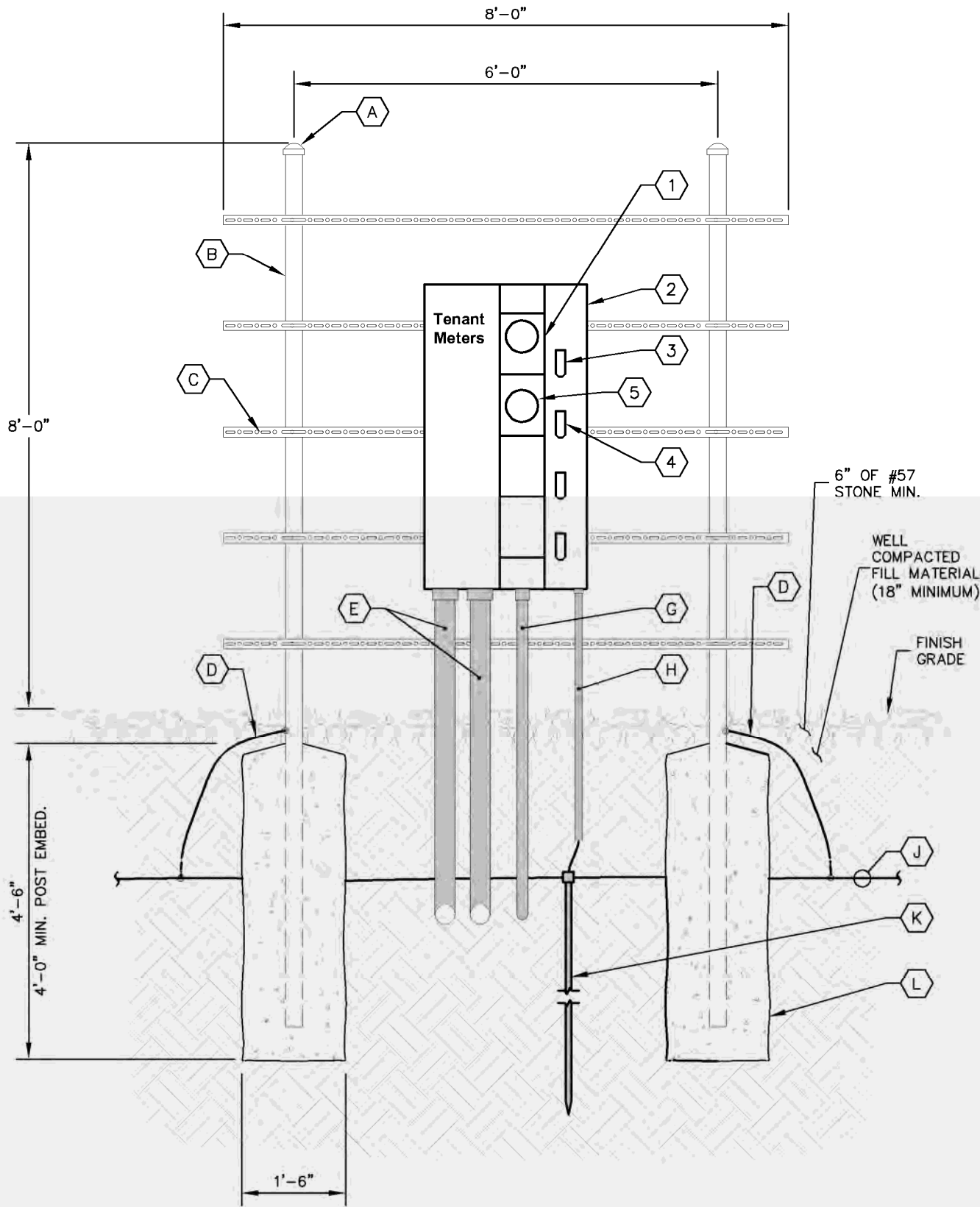
SHEET TITLE:

**OVERALL UTILITY
ROUTING PLAN**

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E3

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KEY NOTES - CONDUIT, CONDUCTORS, & MISC

- A GALVANIZED RIGID STEEL CAP, TYPICAL.
- B 3" GALVANIZED RIGID STEEL PIPE, TYPICAL.
- C 1 5/8" x 1 5/8" GALVANIZED STEEL CHANNEL (UNISTRUT #P1000 OR APPROVED EQUIVALENT) WITH PLASTIC END CAP (UNISTRUT #P2860), TYPICAL.
- D ONE (1) #2 AWG BARE SOLID TINNED COPPER BONDING CONDUCTORS (BC) FROM H-FRAME VERTICAL PIPE TO GROUND RING, EXOTHERMIC WELD BOTH ENDS.
- E 4" PVC CONDUIT FOR INCOMING SERVICE LATERALS FROM LOCAL UTILITY, TYPICAL OF 2.
- F KEYNOTE NOT USED.
- G 2" PVC CONDUIT FOR ROUTING FEEDERS TO NON-FUSED DISCONNECT SWITCH.
- H 3/4" PVC CONDUIT WITH ONE (1) - 2/0 BARE STRANDED TINNED COPPER GROUNDING ELECTRODE CONDUCTOR (GEC) FROM GROUNDING LUG TO GROUND ROD, EXOTHERMIC WELD GEC TO GROUND ROD.
- J GROUND RING (SEE SHEETS E8 & E9).
- K GROUND ROD, EXOTHERMIC WELD TO GROUND RING. (SEE SHEET E11).
- L CONCRETE FOUNDATION FOR H-FRAME VERTICAL PIPE. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI. AND INCLUDE FIBERMESH 650-3E.

KEY NOTES - ELECTRICAL EQUIPMENT

- 1 200 AMP METER SOCKET IN NEMA 3R ENCLOSURE.
- 2 800 AMP, 22KAIC, 4 GANG, SERVICE ENTRANCE RATED METER CENTER IN NEMA 3R ENCLOSURE. BOND TO RACK PER NEC.
- 3 200 AMP, 2 POLE (22KAIC) DISCONNECT CIRCUIT BREAKER FOR TOP METER ONLY.
- 4 100 AMP, 2 POLE (22KAIC) DISCONNECT CIRCUIT BREAKER. CONTRACTOR SHALL MOUNT THE METER CENTER SUCH THAT THE TOP CIRCUIT BREAKER IS NO MORE THAN 6' ABOVE GRADE.
- 5 100 AMP METER SOCKET IN NEMA 3R ENCLOSURE.

1 METER RACK DETAILS
E4 NOT TO SCALE



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PHONE: 770-619-4280
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NC License F-0102

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0	11/05/21	CONSTRUCTION	CCH

LICENSER:



KHA PROJECT NUMBER:

013509351

DRAWN BY: CHECKED BY:

JAR

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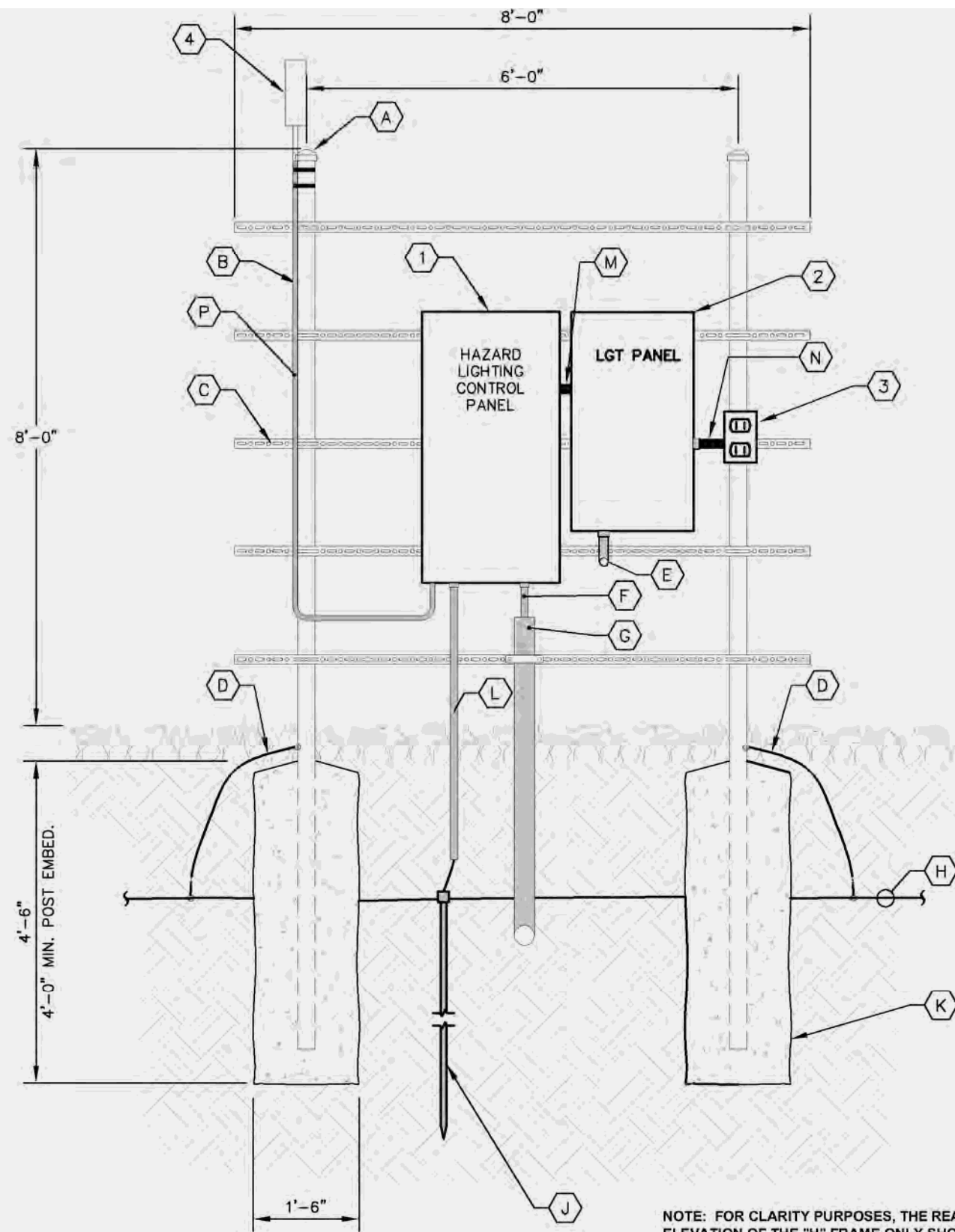
SHEET TITLE:

METER RACK
DETAILS - FRONT

SHEET NUMBER:

E4

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NOTE: FOR CLARITY PURPOSES, THE REAR ELEVATION OF THE "H" FRAME ONLY SHOWS EQUIPMENT AND CONDUIT ASSOCIATED WITH THE REAR SIDE. SEE SHEET E4 FOR DETAILS ASSOCIATED WITH EQUIPMENT AND CONDUIT MOUNTED ON THE FRONT SIDE OF THE "H" FRAME.

KEY NOTES - CONDUIT, CONDUCTORS, & MISC

- (A) GALVANIZED RIGID STEEL CAP, TYPICAL.
- (B) 3" GALVANIZED RIGID STEEL PIPE, TYPICAL.
- (C) 1 $\frac{5}{8}$ " x 1 $\frac{5}{8}$ " GALVANIZED STEEL CHANNEL (UNISTRUT #P1000 OR APPROVED EQUIVALENT) WITH PLASTIC END CAP (UNISTRUT #P2860), TYPICAL.
- (D) ONE (1) #2 AWG BARE SOLID TINNED COPPER BONDING CONDUCTORS (BC) FROM H-FRAME VERTICAL PIPE TO GROUND RING, EXOTHERMIC WELD BOTH ENDS.
- (E) 1 $\frac{1}{2}$ " PVC POWER CONDUIT FROM METER.
- (F) FLASH HEAD CABLE.
- (G) 2 $\frac{1}{2}$ " FLASH HEAD CABLE PROTECTION CONDUIT (MIN. 18" BELOW GRADE).
- (H) GROUND RING (SEE SHEETS E8, & E9).
- (J) GROUND ROD, EXOTHERMIC WELD TO GROUND RING. (SEE DETAIL 2/E11).
- (K) CONCRETE FOUNDATION FOR H-FRAME VERTICAL PIPE. CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI. AND INCLUDE FIBERMESH 650-3E.
- (L) $\frac{3}{4}$ " PVC WITH ONE (1) - #2 AWG BARE TINNED COPPER GROUNDING ELECTRODE CONDUCTOR (GEC) FROM GROUNDING LUG TO GROUND ROD, EXOTHERMIC WELD GEC TO GROUND ROD.
- (M) 1" PVC CONDUIT FROM LGT PANEL.
- (N) $\frac{1}{2}$ " PVC CONDUIT FOR ROUTING POWER CONDUCTORS TO GFCI RECEPTACLE.
- (P) 1" PVC CONDUIT FOR TELCOM LINK.

KEY NOTES - ELECTRICAL EQUIPMENT

- (1) HAZARD LIGHTING CONTROL PANEL (FLASH TECHNOLOGY FTS 370D OR APPROVED EQUIVALENT) IN NEMA 4X ENCLOSURE.
- (2) 120/240V, 100A MCB SERVICE ENTRANCE RATED PANEL IN NEMA 3R ENCLOSURE.
- (3) ONE (1) 20A DUPLEX GFCI WALL PLUG WITH WEATHER RATED COVER.
- (4) WIRELESS ANTENNA MOUNTED TO H-FRAME POST.

1 METER RACK DETAILS
E4.1 NOT TO SCALE

verizon

8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
GEORGE RD
SITE No.: 696361
PROJECT #: 15160919
NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

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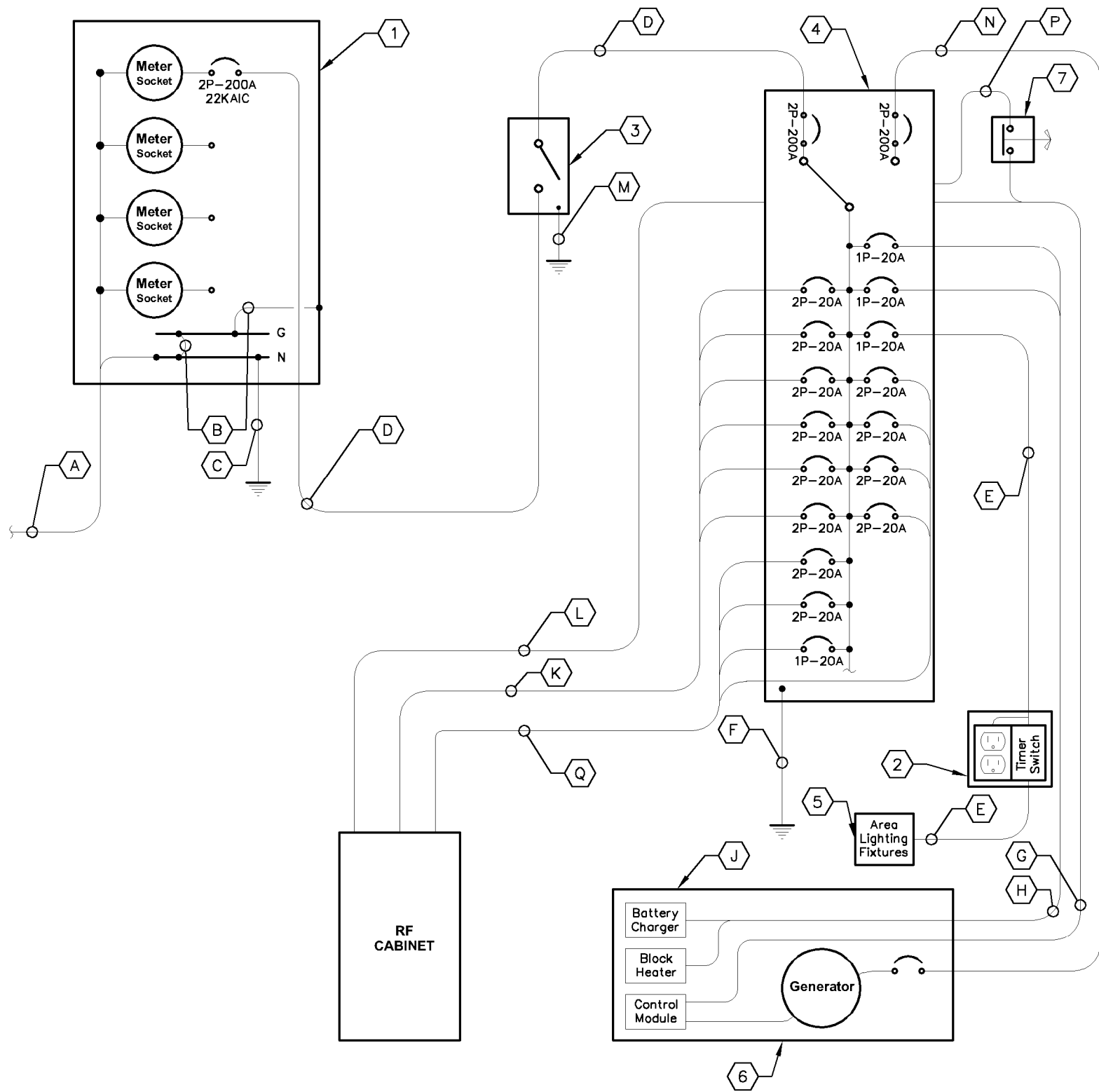
SHEET TITLE:

METER RACK
DETAILS - REAR

SHEET NUMBER:

E4.1

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REQUIRED SIGNAGE PER NEC 702 AT SERVICE DISCONNECT

"WARNING: Shock hazard exists if grounding electrode conductor or bonding jumper connection in this equipment is removed while alternate source(s) is energized. Opening the equipment disconnect will cause the stand-by generator to start. To remove power entirely from the equipment, the generator must be turned OFF using emergency stop switch."

REQUIRED SIGNAGE PER NEC 702 AT SERVICE DISCONNECT & INTEGRATED LOAD CENTER

"NOTE: Emergency power is supplied by a stand-by generator located behind Verizon equipment rack."

1
E5 **ELECTRICAL SINGLE LINE DIAGRAM**
NOT TO SCALE

KEY NOTES - CONDUIT, CONDUCTORS, & MISC

- A** TWO (2) 4" CONDUITS BY CONTRACTOR FOR INCOMING SERVICE LATERALS BY LOCAL UTILITY FOR 800 AMP, 120/240 VOLT SINGLE PHASE SERVICE.
- B** BOND GROUND BUS TO NEUTRAL BUS AND GROUND BUS TO ENCLOSURE WITH 2/0 BONDING JUMPERS.
- C** ONE (1) 2/0 BARE STRANDED TINNED COPPER GEC TO GROUND ROD, EXOTHERMIC WELD GEC TO GROUND ROD.
- D** THREE (3) 3/0 CONDUCTORS AND ONE (1) #6 AWG GROUND IN 2" CONDUIT.
- E** TWO (2) #12 AWG CONDUCTORS AND ONE (1) #12 AWG GROUND IN 1" CONDUIT.
- F** ONE (1) #2 BARE TINNED COPPER FROM GROUNDING LUG IN ILC TO GROUND ROD, EXOTHERMIC WELD TO GROUND ROD.
- G** AUTOMATIC TRANSFER SWITCH ALARM AND GENERATOR CONTROL CABLES IN 1" CONDUIT.
- H** FOUR (4) #12 CONDUCTORS AND ONE (1) #12 AWG GROUND IN 1" CONDUIT.
- J** THE GENERATOR, WHEN UTILIZING A TWO POLE ATS WITH A SOLID NEUTRAL, IS NOT A SEPARATELY DERIVED SYSTEM. THEREFORE, DO NOT BOND THE NEUTRAL TO THE GROUND AT THE GENERATOR.
- K** TWELVE (12) #10 AWG THHN CONDUCTORS AND THREE (3) #10 AWG EG IN 2" PVC CONDUIT.
- L** ALARM CABLES IN 1" PVC CONDUIT.
- M** ONE (1) - #2 BARE TINNED COPPER FROM GROUNDING LUG IN DISCONNECT SWITCH TO GROUND RING, EXOTHERMIC WELD TO GROUND RING.
- N** THREE (3) 3/0 AWG CONDUCTORS AND ONE (1) #4 AWG EG IN 2" CONDUIT. VERIFY GENERATOR BREAKER DOES NOT EXCEED 200 AMPS.
- P** 1" PVC CONDUIT FOR ROUTING POWER CONDUCTORS FROM THE ILC TO THE EMERGENCY GENERATOR STOP SWITCH.
- Q** TWELVE (12) #10 AWG THHN CONDUCTORS AND THREE (3) #10 AWG. FOR RECTIFIERS AND TWO (2) #10 THHN CONDUCTORS AND ONE (1) #10 AWG FOR CABINET MOUNTED GFI OUTLET, ALL IN ONE 2" PVC CONDUIT.

KEY NOTES - ELECTRICAL EQUIPMENT

- 1** FURNISH AND INSTALL 800 AMP, 3-WIRE, SINGLE PHASE, 120/240 VOLT, 22KAIC, FOUR-SPACE MULTI-GANG METER CENTER WITH 200 AMP RATED METER SOCKETS IN NEMA 3R ENCLOSURE, SE RATED. CONTRACTOR SHALL FURNISH AND INSTALL 200 AMP CIRCUIT BREAKER AT METER BASE IF NOT ALREADY EXISTING.
- 2** 20 AMP GFCI DUPLEX OUTLET RECEPTACLE AND TIMER SWITCH, ENERLITES HET06 SERIES (OR APPROVED EQUIVALENT) IN LOCKABLE NEMA 3R ENCLOSURE.
- 3** FURNISH AND INSTALL SE RATED 240 V, 200 AMP, 2 POLE, NON-FUSED DISCONNECT IN NEMA 3R ENCLOSURE.
- 4** 200 AMP, 120/240 VOLT, ILC WITH 42 SPACE PANEL AND AUTOMATIC TRANSFER SWITCH. ALL CIRCUIT BREAKERS SHALL BE RATED 10KAIC MINIMUM. ILC IS FURNISHED BY VZW AND INSTALLED BY GENERAL CONTRACTOR.
- 5** FURNISH AND INSTALL TWO (2) AREA LIGHTS, (LITHONIA HFR-250M-TA120-DNA-LP1), (OR APPROVED EQUIVALENT).
- 6** 50 KW DIESEL GENERATOR, CONTRACTOR SHALL COORDINATE SPECIFIC GENERATOR CONFIGURATION WITH OWNER AND INSTALL THE GENERATOR IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS. GENERATOR BREAKER SIZED AND PROVIDED BY GENERATOR MANUFACTURER.
- 7** EMERGENCY GENERATOR STOP SWITCH IN NEMA 3R ENCLOSURE WILL BE FURNISHED BY VERIZON AND INSTALLED BY GC.



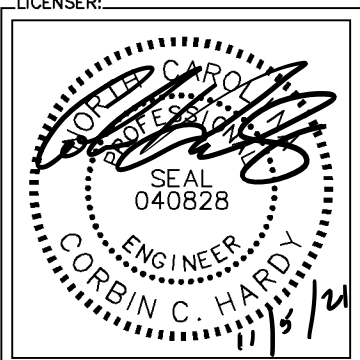
PROJECT INFORMATION:

SITE NAME:
GEORGE_RD
SITE No.: 696361
PROJECT #: 15160919
NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

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KHA PROJECT NUMBER:

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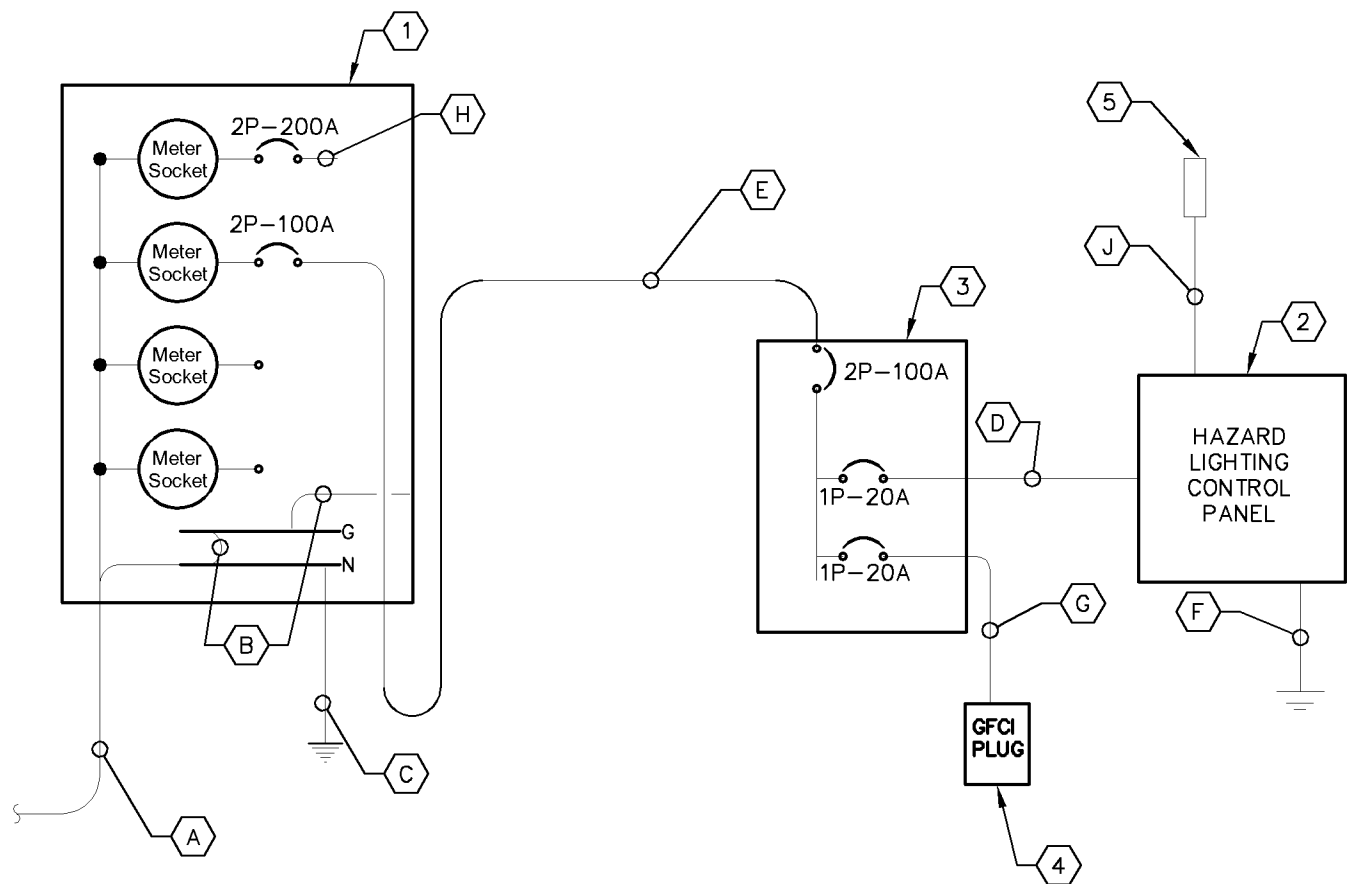
SHEET TITLE:

**ELECTRICAL
SINGLE LINE
DIAGRAM**

SHEET NUMBER:

E5

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1 ELECTRICAL SINGLE LINE DIAGRAM
E5.1 NOT TO SCALE

KEY NOTES - CONDUIT, CONDUCTORS, & MISC

- A 4" CONDUITS BY CONTRACTOR FOR INCOMING SERVICE LATERALS BY LOCAL UTILITY FOR FOUR (4) - 200 AMP (22KAIC), 120/240 VOLT SINGLE PHASE SERVICES. CONTRACTOR SHALL COORDINATE QUANTITY OF CONDUITS REQUIRED WITH LOCAL UTILITY.
- B BOND GROUND BUS TO NEUTRAL BUS AND BOND GROUND BUS TO ENCLOSURE WITH 3/0 BONDING JUMPERS.
- C 2/0 GROUND ELECTRODE CONDUCTOR, BOND TO GROUND ROD VIA EXOTHERMIC WELD.
- D THREE (3) #10 AWG CONDUCTORS AND ONE (1) #10 AWG EGC IN 1/2" PVC CONDUIT.
- E THREE (3) #2 AWG CONDUCTORS AND ONE (1) #8 AWG EGC IN 1 1/2" PVC CONDUIT.
- F ONE (1) - #2 AWG BARE TINNED COPPER GROUNDING ELECTRODE CONDUCTOR (GEC) FROM GROUNDING LUG TO GROUND ROD, EXOTHERMIC WELD GEC TO GROUND ROD.
- G TWO (2) #12 AWG CONDUCTORS AND ONE (1) #12 AWG GROUND IN 1" CONDUIT.
- H SEE SHEET E5 FOR VERIZON SINGLE LINE & PANEL SCHEDULE.
- J 1" PVC CONDUIT FOR TELCOM LINK.

KEY NOTES - ELECTRICAL EQUIPMENT

- 1 FURNISH AND INSTALL SERVICE ENTRANCE RATED GANGED METER CENTER WITH FOUR (4) - 200 AMP, 120/240 VOLT SINGLE PHASE SERVICE POSITIONS IN NEMA 3R ENCLOSURE. COORDINATE SPECIFIC REQUIREMENTS WITH LOCAL UTILITY.
- 2 HAZARD LIGHTING CONTROL PANEL IN NEMA 4X ENCLOSURE.
- 3 120/240 VOLT, 100 AMP MCB PANEL 'LTG' IN NEMA 3R ENCLOSURE
- 4 20A GFCI DUPLEX WALL PLUG WITH WEATHER RATED COVER.
- 5 WIRELESS ANTENNA MOUNTED TO H-FRAME POST.

LTG PANEL												
Voltage: 240/120 Volts						MCB Size: 100 Amps						
Phase, Wires: Single Phase, 3 Wire						AIC Rating: 10,000 Amps min						
Mounting Type: Surface						Bus Rating: 100 Amps						
Enclosure Type: NEMA 3R						Neutral Rating: 100%						
Load Served	Load (kVA)		Circuit Bkr Size	Ckt Nbr	Phase		Ckt Nbr	Circuit Bkr Size	Load (kVA)		Load Served	
	A	B			A	B			A	B		
HAZARD LIGHTING	1.92		1P-20	1	*		2				SPACE	
GFCI PLUG		0.18	1P-20	3		*	4				SPACE	
SPACE				5	*		6				SPACE	
SPACE				7		*	8				SPACE	
Sub-Total (kVA)			1.92	0.18					0.00	0.00	Sub-Total (kVA)	
LOAD SUMMARY												
				A		B						
				1.92		0.18						
				2.10				Total Connected (kVA)				
				Demand Load (kVA)								
Load Description				Connected Load (kVA)		Demand Factor		A		B		
RECTIFIERS/EQUIPMENT						1.25		0.00		0.00		
LIGHTING				1.92		1.25		2.40		0.00		
DUPLEX RECEPTACLES						0.18		1.00		0.00		
TOTAL MISCELLANEOUS						1.25		0.00		0.00		
				Total Power per Phase		2.40		0.18		kVA		
				Total Demand Current per Phase		20.00		1.50		Amps		
				Total Demand Power		2.58				kVA		

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8021 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

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PLANS PREPARED BY:

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KHA PROJECT NUMBER:

013509351

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SHEET TITLE:

ELECTRICAL
SINGLE LINE
DIAGRAM

SHEET NUMBER:

E5.1

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PANEL SCHEDULE - VERIZON INTEGRATED LOAD CENTER											
Voltage: 240/120 Volts						MCB Size: 200 Amps					
Phase, Wires: Single Phase, 3 Wire						AIC Rating: 10,000 Amps min					
Mounting Type: Surface						Bus Rating: 200 Amps					
Enclosure Type: NEMA 3R						Neutral Rating: 100%					
Load Served	Load (kVA)		Circuit Bkr Size	Ckt Nbr	Phase A B	Ckt Nbr	Circuit Bkr Size	Load (kVA)		Load Served	
	A	B						A	B		
RECTIFIER 1	1.78		2P-20	1		2	1P-20	0.58		AREA LIGHTS/GFCI	
		1.78		3		4	1P-20		1.50	GEN BLOCK HEATER	
RECTIFIER 2	1.78		2P-20	5		6	1P-20	0.30		GEN BATTERY CHARGER	
		1.78		7		8	-----		0.00	SPACE	
RECTIFIER 3	1.78		2P-20	9		10	1P-20	0.18		CAB DUPLEX OUTLET	
		1.78		11		12	-----		0.00	SPACE	
RECTIFIER 4	1.78		2P-20	13		14	2P-20	1.78		RECTIFIER 9	
		1.78		15		16			1.78		
RECTIFIER 5	1.78		2P-20	17		18	2P-20	1.78		RECTIFIER 10	
		1.78		19		20			1.78		
RECTIFIER 6	1.78		2P-20	21		22	2P-20	0.00		RECTIFIER 11 (SPARE)	
		1.78		23		24			0.00		
RECTIFIER 7	1.78		2P-20	25		26	2P-20	0.00		RECTIFIER 12 (SPARE)	
		1.78		27		28			0.00		
RECTIFIER 8	1.78		2P-20	29		30	-----	0.00		SPACE	
		1.78		31		32	-----		0.00	SPACE	
SPACE	0.00		-----	33		34	-----	0.00		SPACE	
SPACE		0.00	-----	35		36	-----		0.00	SPACE	
SPACE	0.00		-----	37		38	-----	0.00		SPACE	
TVSS (INTERNAL TO ILC)		0.00	2P-30	39		40	-----		0.00	SPACE	
	0.00			41	42	-----	0.00		SPACE		
Sub-Total (kVA)	14.24	14.24							4.62	5.06	Sub-Total (kVA)
									A	B	Total Connected (kVA)
									18.86	19.30	
									38.16		
LOAD SUMMARY											
				Connected Load (kVA)		Demand Factor	Demand Load (kVA)				
Load Description				A	B		A	B			
RECTIFIERS/EQUIP				17.80	17.80	1.00	17.80	17.80			
LARGEST MOTOR				0.00	0.00	1.00	0.00	0.00			
ALL OTHER MOTORS				0.00	0.00	1.00	0.00	0.00			
LIGHTING				0.40	0.00	1.25	0.50	0.00			
DUPLEX RECEPTACLES				0.36	0.00	1.00	0.36	0.00			
TOTAL MISCELLANEOUS				0.30	1.50	1.00	0.30	1.50			
Total Power per Phase							18.96	19.30	kVA		
Total Demand Current per Phase							158.00	161.00	Amps		
Total Demand Power							38.26		kVA		


*NOTE: CIRCUIT LOAD AND DEMAND FACTOR PROVIDED BY VERIZON.

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PANEL SCHEDULE

E6

NOT TO SCALE




8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
GEORGE RD
SITE No.: 696361
PROJECT #: 15160919
NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

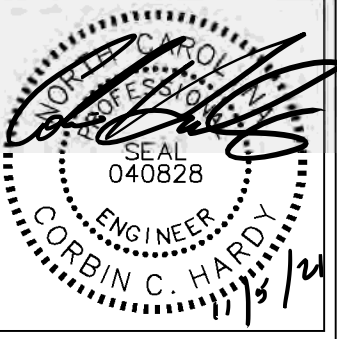


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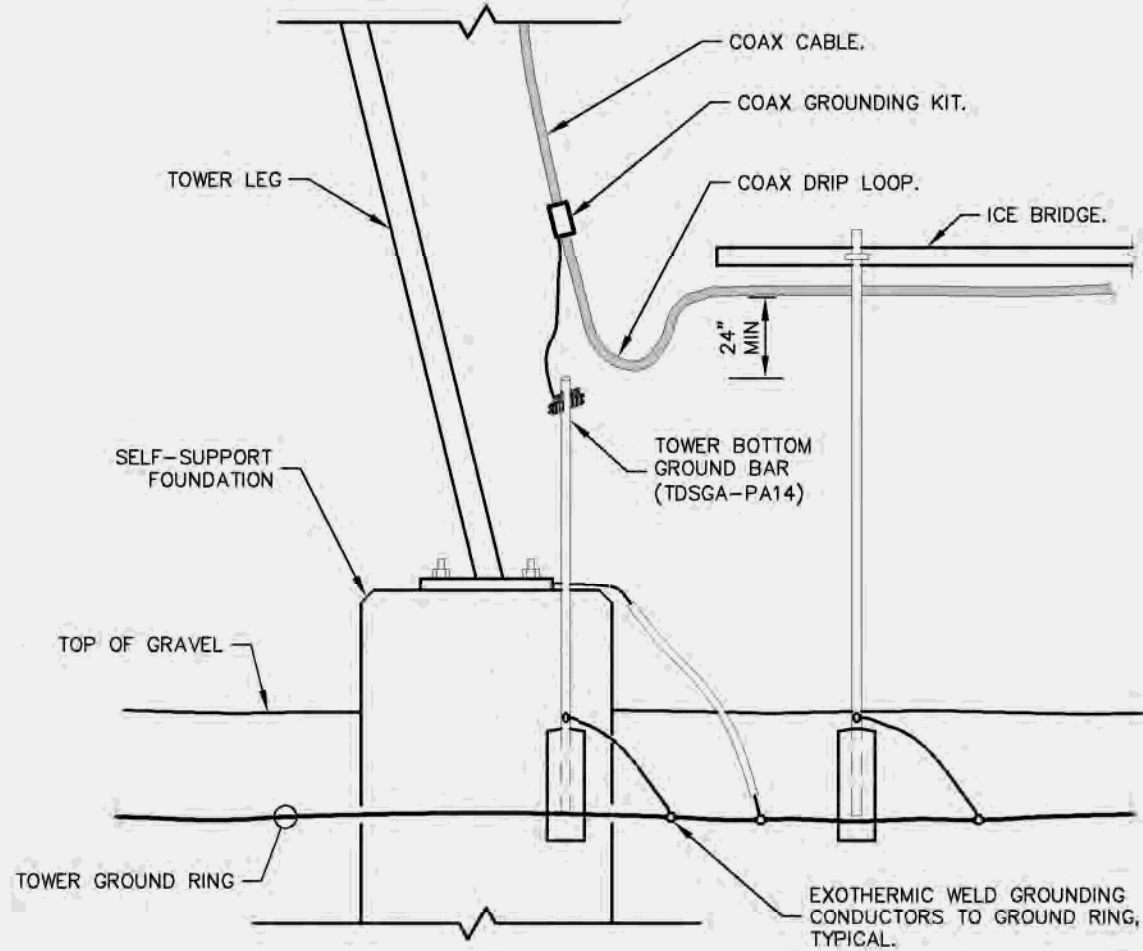
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PANEL SCHEDULE

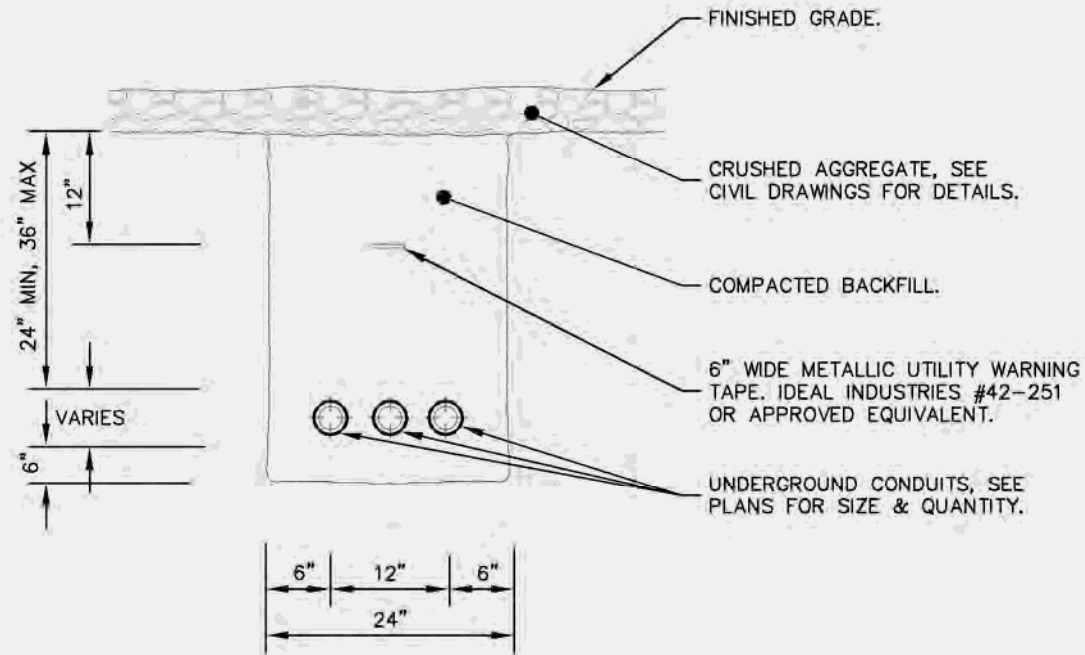
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1 DRIP LOOP DETAIL
E7 NOT TO SCALE



2 TYPICAL TRENCH DETAIL
E7 NOT TO SCALE

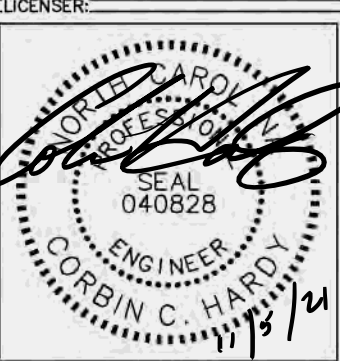
- NOTES:
1. IF GROUND SURFACE IS OTHER THAN NEWLY GRAVELED AREA. CONTRACTOR IS TO RESTORE TO ORIGINAL CONDITION.
 2. PROVIDE PVC CONDUIT BELOW GRADE EXCEPT AS NOTED BELOW.
 3. PROVIDE SCHEDULE 40 OR SCHEDULE 80 PVC CONDUIT & ELBOWS AT STUB UP LOCATIONS (I.E. POLES, EQUIPMENT, ETC.)
 4. PROVIDE SCHEDULE 80 PVC CONDUIT BELOW PARKING LOTS AND ROADWAYS.

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SHEET TITLE:

ELECTRICAL
DETAILS

SHEET NUMBER:
E7

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GROUNDING NOTES

1.

THE GROUND RING SHALL CONSIST OF #2 AWG BARE SOLID TINNED COPPER (STC) CONDUCTOR, UNLESS NOTED OTHERWISE, BURIED AT 30" BELOW FINISHED GRADE (OR BELOW FROST LINE). LOCATE 24" MINIMUM AND 36" MAXIMUM FROM EQUIPMENT AREA AND FROM TOWER FOUNDATION. ALL CONNECTIONS SHALL BE MADE USING A PARALLEL TYPE EXOTHERMIC WELD, UNLESS NOTED OTHERWISE.
2.

INSTALL GROUND RODS AS SHOWN AND AS REQUIRED. GROUND RODS TO BE COPPER CLAD STEEL, 5/8" DIAMETER AND 10FT IN LENGTH. SPACING BETWEEN GROUND RODS SHALL BE 10FT MINIMUM AND 15FT MAXIMUM. TOP OF GROUND ROD TO BE 30" MINIMUM BELOW GRADE (OR BELOW FROST LINE). BOND TOP OF GROUND ROD TO GROUND WIRE WITH EXOTHERMIC WELD. DO NOT EXOTHERMICALLY WELD ANYTHING TO GROUND ROD EXCEPT GROUND WIRE WHICH PASSES OVER TOP OF GROUND ROD (CLAMPED CONNECTIONS TO GROUND ROD PER TOWER MANUFACTURERS DETAILS ARE ACCEPTABLE).
3.

EQUIPMENT GROUND RING SHALL HAVE A MINIMUM OF 4 GROUND RODS, INSTALLED AT THE CORNERS OF THE GROUND RING PLUS ADDITIONAL RODS AS REQUIRED TO COMPLY WITH THE SPACING REQUIREMENTS. TOWER GROUND RING SHALL HAVE A MINIMUM OF 3 GROUND RODS, EXCEPT USE 4 RODS AT A MONOPOLE TOWER. WHERE SPREAD TOWER FOOTING WOULD PREVENT GROUND RODS FROM BEING DRIVEN INTO SOIL ADJACENT TO TOWER, PROVIDE VERTICAL 1" DIAMETER PVC SLEEVES EMBEDDED IN FOOTING TO ALLOW INSTALLATION OF GROUND RODS.
4.

EQUIPMENT GROUND RING AND TOWER GROUND RING SHALL BE BONDED TOGETHER WITH TWO #2 STC GROUND LEADS, TYPICALLY ONE ON EACH SIDE OF ICE BRIDGE.
5.

BOND TOWER TO TOWER GROUND RING AT THREE LOCATIONS WITH #2 STC GROUND LEAD. SELF SUPPORT TOWERS SHALL HAVE EACH LEG BONDED TO GROUND RING, MONOPOLES AND GUYED TOWERS SHALL HAVE GROUND LEADS EQUALLY SPACED AROUND TOWER. EXOTHERMICALLY WELD GROUND LEADS TO TOP OF BASE PLATES, OR ATTACH TO TOWER USING TOWER MANUFACTURER PROVIDED DETAIL.
6.

PROVIDE #2 STC RADIALS FROM THE TOWER GROUND RING TO EACH FENCE CORNER POST. RADIALS SHALL HAVE GROUND RODS AS PER THE REQUIRED SPACING. THE GROUND ROD AT THE END OF EACH RADIAL SHALL BE 24" MAXIMUM FROM FENCE CORNER POST. EQUIPMENT AREA GROUND RING AND CONNECTING GROUND LEADS [BETWEEN EQUIPMENT AREA AND TOWER GROUND RINGS] MAY BE USED AS PART OF THE RADIAL GOING TO THE FENCE CORNER POST CLOSEST TO THE EQUIPMENT AREA.
7.

MINIMUM BEND RADIUS FOR #2 AWG GROUND WIRE IS 12", EXCEPT USE 24" FOR TOWER GROUND RINGS AND EQUIPMENT PAD GROUND RINGS.
8.

GROUND ALL EXTERIOR EXPOSED METAL OBJECTS. USE TWO HOLE LUGS FOR CONNECTION TO FLAT METAL SURFACES. USE ONLY STAINLESS STEEL HARDWARE ON ALL MECHANICAL CONNECTIONS. CLEAN ALL SURFACES (AND STRIP PAINTED SURFACES) TO BARE BRIGHT METAL PRIOR TO MAKING GROUND CONNECTIONS. APPLY ANTI-OXIDE COMPOUND TO ALL CONNECTIONS. APPLY ZINC RICH PAINT (COLD GALV.) TO ALL EXOTHERMIC WELDS, AND TO ANY METAL EXPOSED BY CLEANING, STRIPPING, GRINDING, CUTTING OR DRILLING.
9.

ALL GROUNDING CONDUCTORS ABOVE GRADE SHALL BE RUN IN 3/4" FLEXIBLE PVC CONDUIT. CONDUIT SHALL BEGIN WITHIN 3/4" OF ABOVE GROUND CONNECTION POINT, SHALL EXTEND 24" BELOW GRADE MINIMUM, AND SHALL BE FILLED WITH SEALANT AT ABOVE GROUND CONNECTION POINT. SECURE CONDUIT EVERY 24" ON VERTICAL RUNS AND EVERY 36" ELSEWHERE WITH NON-METALLIC TIES.
- 10A.

AT GUYED AND SELF SUPPORT TOWERS MOUNT TDSGA-PA14 TOWER BOTTOM GROUND BAR ON DEDICATED POST DIRECTLY BELOW COAX CABLES COMING OFF TOWER. POST TO BE 3.5" OD GALVANIZED SCHEDULE 40 PIPE WITH GALVANIZED PIPE CAP. TOP OF POST TO BE 78" ABOVE GRADE. EMBED POST 30" MINIMUM IN 12" DIAMETER BY 36" DEEP MINIMUM CONCRETE FOOTING WITH TOP OF FOOTING 6" BELOW GRADE. IF TOWER FOUNDATION OBSTRUCTS AUGERED FOOTING, USE POST WITH 10" SQUARE GALVANIZED STEEL FLANGE PLATE WELDED TO BOTTOM AND BOLT FLANGE TO TOP OF CONCRETE TOWER FOOTING.
- 10B.

AT MONOPOLE TOWERS CLAMP TDSGA-BC14 TOWER BOTTOM GROUND BAR DIRECTLY TO TOWER. IF RUNNING COAX INSIDE MONOPOLE, CLAMP ONTO BOTTOM LIP OF EXIT PORT. IF BANDING COAX TO OUTSIDE OF TOWER, CLAMP ONTO STEEL ANGLE WHICH IS Banded TO TOWER. BOND TDSGA-BC14 TO TOWER GROUND RING WITH TWO #2 STC LEADS LUGGED TO GROUND BAR AND EXOTHERMICALLY WELDED TO GROUND RING.
11.

AT EQUIPMENT AREA, INSTALL TDSGA-PA14 EXTERIOR GROUND BAR (THRU-BOLTED STYLE) AT BASE OF (2) INTERIOR H-FRAME POSTS AND AT TOP OF ICE BRIDGE POST WHICH IS NEAREST TO (BUT CLOSER TO TOWER THAN) THE COAX CABLE TERMINATION. MOUNT GROUND BAR TO H-FRAME POSTS AT 6" ABOVE GRAVEL AND TO ICE BRIDGE POST AT 6FT ABOVE GRAVEL.
12.

ALL ICE BRIDGE SECTIONS ARE TO BE JUMPERED TOGETHER WITH #2 WIRE, EITHER BARE TINNED COPPER OR GREEN INSULATED STRANDED. ICE BRIDGE SHALL BE GROUNDED AT EACH END WITH #2 STC WIRE LUGGED TO ICE BRIDGE AND EXOTHERMICALLY WELDED TO UPPER PORTION OF NEAREST ICE BRIDGE POST. ICE BRIDGE SECTIONS ABOVE H-FRAME SHALL BE BONDED TO EACH OTHER WITH JUMPERS AT EACH END - THIS ASSEMBLY WILL BE CONSIDERED AS A SINGLE ICE BRIDGE SECTION FOR GROUNDING PURPOSES.
13.

BOND EACH ICE BRIDGE POST, H-FRAME POST OR DEDICATED GROUNDING POST TO BURIED GROUNDING SYSTEM WITH #2 STC LEAD EXOTHERMICALLY WELDED TO POST BELOW TOP OF GRAVEL AND EXOTHERMICALLY WELDED TO GROUND RING. EACH POST TO HAVE SEPARATE GROUND LEAD DIRECTLY TO GROUND RING - DO NOT DAISY CHAIN POSTS TOGETHER.
14.

BOND EACH RF CABINET TO EQUIPMENT GROUND RING WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR LUGGED TO CABINET BODY AND EXOTHERMICALLY WELDED TO GROUND RING. LUG TO CABINET BODY USING LOCATION AT WHICH STUDS ON CABINET CHASSIS HAVE DIRECT GROUND WIRE CONNECTION TO CABINET INTERNAL GROUND BAR. RUN CONDUIT AND CONDUCTOR ACROSS BACK OF CABINET (DO NOT RUN TOWARDS NEAREST CORNER OF CABINET AND THEN BEND GROUND WIRE SHARPLY), ACROSS CONCRETE PAD BELOW CABLE LADDER, THEN DOWN INTO GRAVEL AREA.
15.

BOND EACH BATTERY CABINET TO GROUND RING WITH #2 AWG TINNED SOLID BARE COPPER CONDUCTOR LUGGED TO CABINET BODY AND EXOTHERMICALLY WELDED TO GROUND RING. RUN GROUND LEAD IN FLEX CONDUIT ALONG BACK OF RBA72 CABINET, ACROSS CONCRETE PAD BELOW CABLE LADDER, THEN DOWN INTO GRAVEL AREA. CONNECT TWO HOLE LUG TO BACK OF CABINET AT FACTORY PROVIDED GROUNDING STUDS.
16.

BOND GENERATOR TO GROUND RING WITH #2 STC AT TWO DIAGONALLY OPPOSITE LOCATIONS BY DRILLING AND BOLTING TWO HOLE LUG TO FINS ON GENERATOR BASE STRUCTURE. GROUND LEADS SHOULD TAKE SHORTEST PATH ACROSS CONCRETE PAD TO GRAVEL AREA, THEN CONTINUE TO GROUND RING.
17.

WHERE PROPANE TANK IS INSTALLED TO FUEL GENERATOR, BOND PROPANE TANK TO GROUND RING WITH A SINGLE #2 STC CLAMPED TO FILLER PIPE OF PROPANE TANK AND EXOTHERMICALLY WELDED TO GROUND RING. GROUND LEAD SHOULD RUN TO TANK SUPPORT AND TAKE SHORTEST PATH ACROSS CONCRETE PAD TO GRAVEL AREA, THEN CONTINUE TO GROUND RING. IF PROPANE TANK FUEL LINE IS METALLIC AND CROSSES EQUIPMENT GROUND RING, BOND FUEL LINE TO EQUIPMENT GROUND RING WHERE THE TWO LINES CROSS WITH A SINGLE #2 STC CLAMPED TO FUEL LINE AND EXOTHERMICALLY WELDED TO GROUND RING.
18.

BOND GPS ANTENNA and GPS ANTENNA MOUNT TO TSDGA GROUND BAR AT BOTTOM OF H-FRAME POST WITH #2 GREEN INSULATED STRANDED GROUND WIRE.
19.

PROVIDE TWO GROUND RODS OUTSIDE GATES OF COMPOUND. DISTANCE BETWEEN GROUND RODS SHALL MATCH WIDTH OF GATE OPENING, AND DISTANCE FROM FENCE SHALL MATCH LENGTH OF LONGEST INDIVIDUAL GATE LEAF. BOND GATE POSTS TOGETHER WITH #2 STC LEAD WHICH RUNS PAST AND CONNECTS TO GROUND RODS OUTSIDE GATES.
20.

BOND EACH GATE POST WITH #2 STC TO NEAREST PORTION OF GROUNDING SYSTEM INSIDE COMPOUND.
21.

BOND EACH GATE TO GATE POST WITH FLEXIBLE INSULATED OR BRAIDED #4/0 COPPER STRAP. EXOTHERMICALLY WELD STRAP TO BOTH GATE AND GATE POSTS.
22.

ANY METAL FENCE POST WITHIN 6FT OF A GROUNDED METAL OBJECT SHALL BE BONDED TO THE NEAREST GROUND RING. ANY METAL FENCE WITHIN 6FT OF A GROUND RING SHALL HAVE THE LINE POSTS BONDED TO THE GROUND RING AT 20FT MAXIMUM INTERVALS AS MEASURED ALONG THE LENGTH OF THE FENCE.
23.

WHERE GROUND BASED RRU'S, RAYCAP OVP'S OR DIPLEXERS ARE INSTALLED AT THE EQUIPMENT AREA, BOND EACH COMPONENT TO NEAREST TDSGA GROUND BAR BELOW THE COMPONENT WITH #2 GREEN INSULATED STRANDED GROUND WIRE. SINGLE HOLE LUG OR RING TYPE CONNECTOR IS SUITABLE FOR CONNECTION TO GROUNDING STUD ON EACH COMPONENT.
24.

NOTIFY VZW CM TO INSPECT GROUND RING BEFORE BACKFILLING. CONTRACTOR SHALL HIRE A 3RD PARTY TO PERFORM AN IEEE81 FALL OF POTENTIAL METHOD GROUND TEST. MAXIMUM ALLOWABLE RESISTANCE TO GROUND IS 5 OHMS. PROVIDE ADDITIONAL GROUND SYSTEM COMPONENTS AS REQUIRED TO ACHIEVE THIS VALUE.
25.

REFER TO TOWER GROUNDING DIAGRAM AND NOTES FOR GROUND SYSTEM REQUIREMENTS ON THE TOWER.
26.

GROUNDING OF ALL ELECTRICAL EQUIPMENT SHALL BE AS PER NEC, MUNICIPAL AND UTILITY COMPANY REQUIREMENTS.



8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

PROJECT INFORMATION:

SITE NAME:
GEORGE_RD
SITE No.: 696361
PROJECT #: 15160919
NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

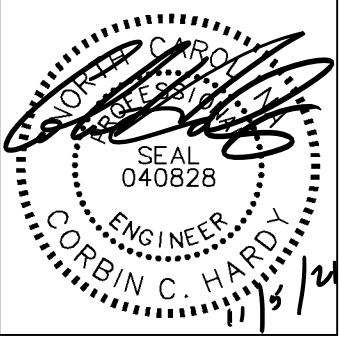
Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 800
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KHA PROJECT NUMBER:

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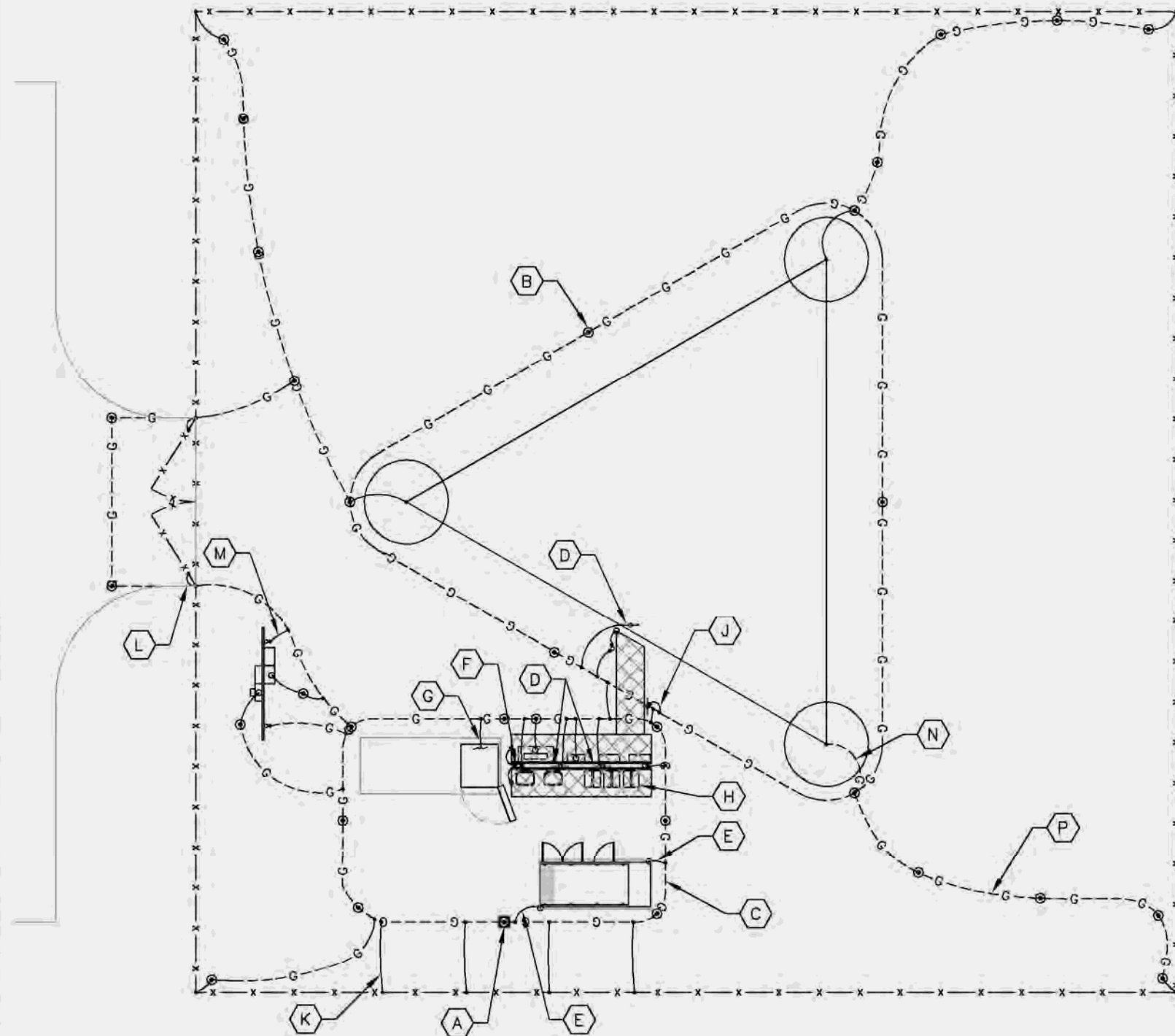
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GROUNDING
NOTES

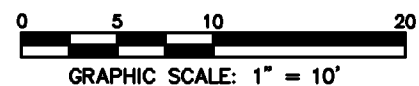
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E8

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1 GROUNDING PLAN
E9 SCALE: 1" = 10'



KEY NOTES - GROUNDING EQUIPMENT

- (A) GROUND ROD TEST WELL (SEE DETAIL 1/E11).
- (B) GROUND ROD, TYPICAL (SEE DETAIL 2/E11 AND NOTES 2 AND 3 ON E8).
- (C) TOWER AND EQUIPMENT GROUND RING (SEE NOTES 1, 3, 4, 5, 6 AND 7 ON E8).
- (D) TDSGA-PA14 OR TDSGA-BC14 WHERE APPLICABLE (SEE NOTES 10 AND 11 ON E8).
- (E) GENERATOR GROUNDING (SEE NOTE 16 ON E8).
- (F) GPS ANTENNA GROUNDING (SEE NOTE 18 ON E8).
- (G) RF CABINET GROUNDING (SEE NOTE 14 ON E8).
- (H) RRU'S AND OVP'S GROUNDING (SEE NOTE 23 ON E8).
- (J) ICE BRIDGE POST BOND TO GROUND RING, TYPICAL (SEE NOTES 12 AND 13 ON E8).
- (K) FENCE POST GROUNDING, TYPICAL (SEE NOTE 22 ON E8).
- (L) GATE GROUNDING, TYPICAL (SEE NOTES 19, 20 & 21 ON E8).
- (M) UTILITY H-FRAME GROUNDING, TYPICAL (SEE SHEET E3 AND NOTE 13 ON E8).
- (N) TOWER GROUNDING, TYPICAL (SEE NOTES 5, 6 & 25 ON E8).
- (P) GROUND RADIALS, TYPICAL (SEE NOTE 6 ON E8).
- (Q) REFER TO SHEETS E8, E10, E11 & E12 FOR GROUNDING NOTES, DETAILS, AND SPECIFICATIONS.

LEGEND:

- G --- G --- GROUND RING
- G --- G --- GROUND ROD EXOTHERMICALLY WELDED TO GROUND RING
- EXOTHERMIC WELD
- ⊙ GROUND ROD TEST WELL (SEE DETAIL 1/E11)
- MECHANICAL CONNECTION

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MOORE COUNTY

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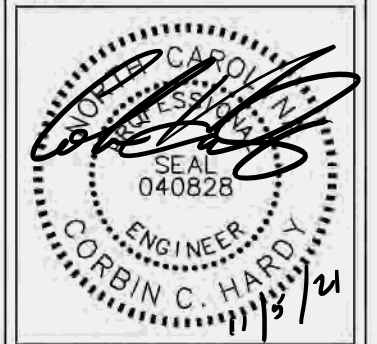
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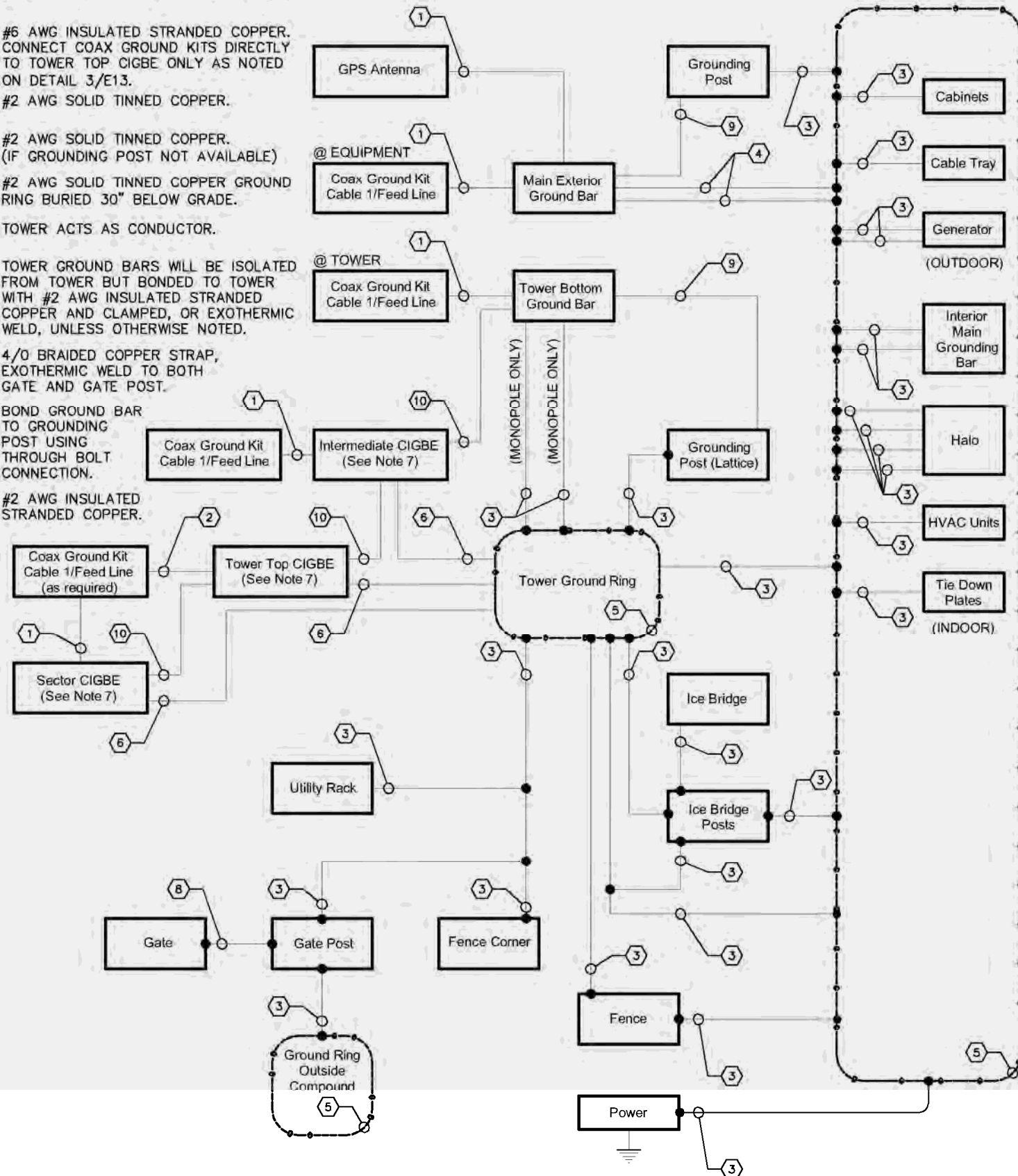
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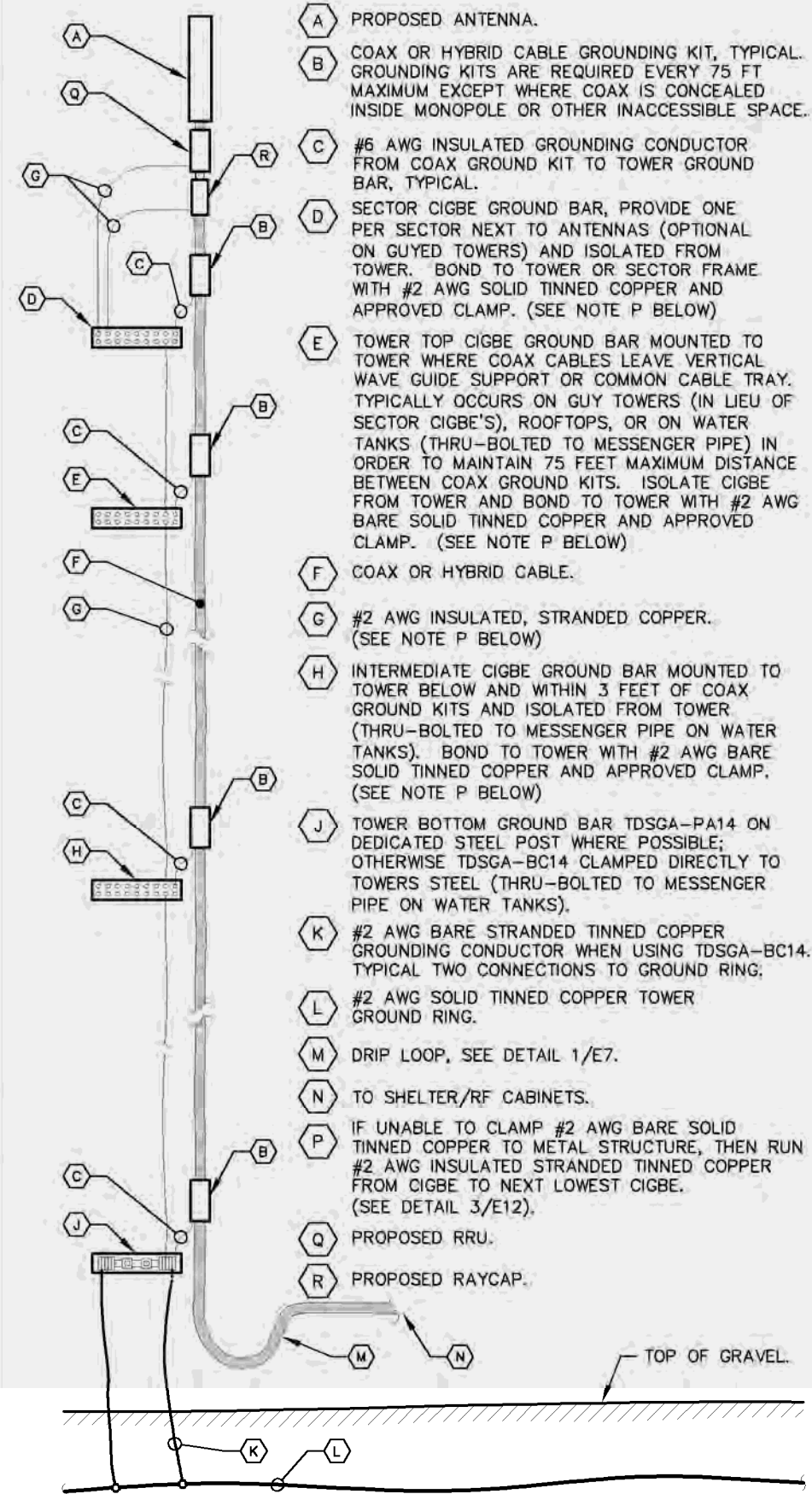
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- 1 #6 AWG INSULATED STRANDED COPPER.
- 2 #6 AWG INSULATED STRANDED COPPER. CONNECT COAX GROUND KITS DIRECTLY TO TOWER TOP CIGBE ONLY AS NOTED ON DETAIL 3/E13.
- 3 #2 AWG SOLID TINNED COPPER.
- 4 #2 AWG SOLID TINNED COPPER. (IF GROUNDING POST NOT AVAILABLE)
- 5 #2 AWG SOLID TINNED COPPER GROUND RING BURIED 30" BELOW GRADE.
- 6 TOWER ACTS AS CONDUCTOR.
- 7 TOWER GROUND BARS WILL BE ISOLATED FROM TOWER BUT BONDED TO TOWER WITH #2 AWG INSULATED STRANDED COPPER AND CLAMPED, OR EXOTHERMIC WELD, UNLESS OTHERWISE NOTED.
- 8 4/0 BRAIDED COPPER STRAP, EXOTHERMIC WELD TO BOTH GATE AND GATE POST.
- 9 BOND GROUND BAR TO GROUNDING POST USING THROUGH BOLT CONNECTION.
- 10 #2 AWG INSULATED STRANDED COPPER.



1 GROUNDING SINGLE LINE DIAGRAM
E10 NOT TO SCALE



2 COAX-TOWER GROUNDING SCHEMATIC
E10 NOT TO SCALE



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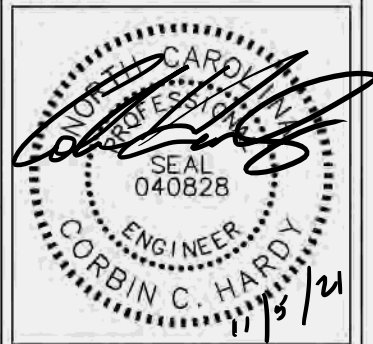
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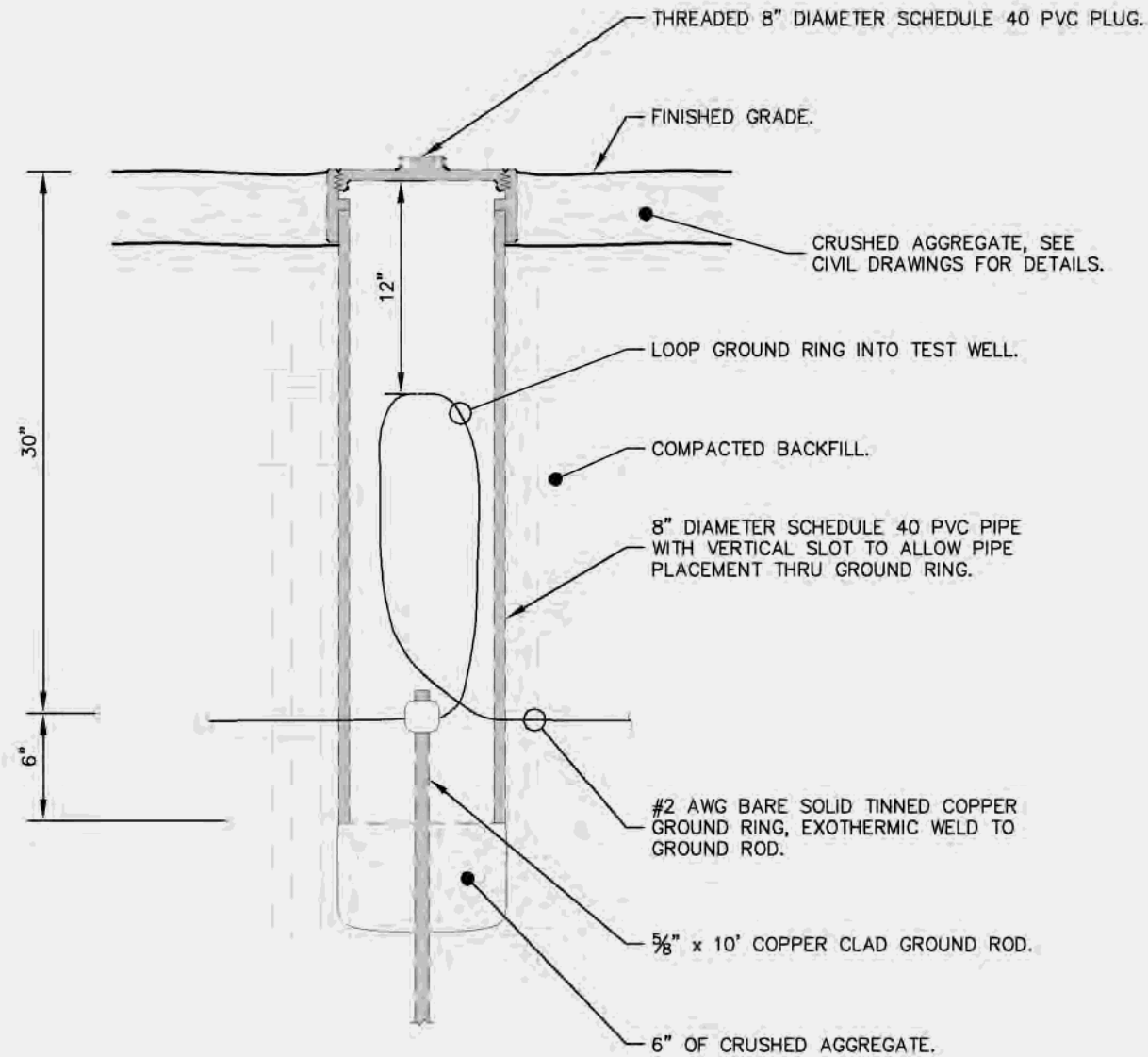
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GROUNDING
SINGLE LINE
DIAGRAM

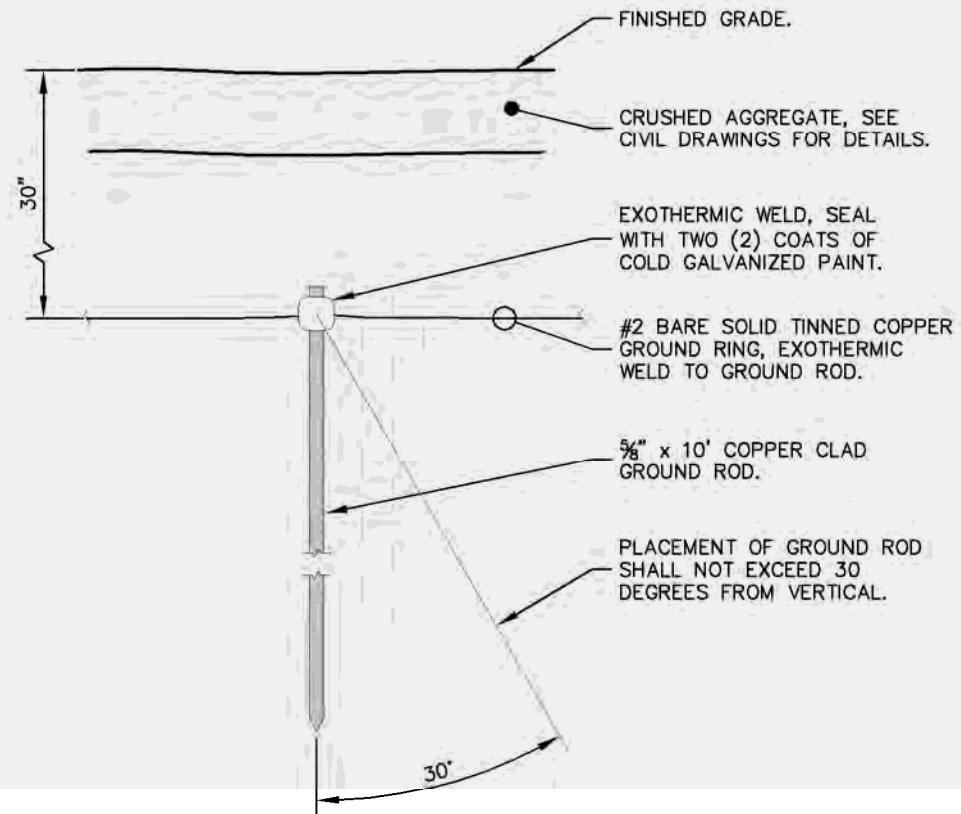
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1 GROUND ROD TEST WELL DETAIL
E11 NOT TO SCALE



2 GROUND ROD INSTALLATION DETAIL
E11 NOT TO SCALE



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BENNETT, NC 27208
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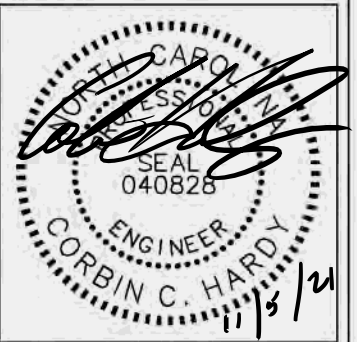
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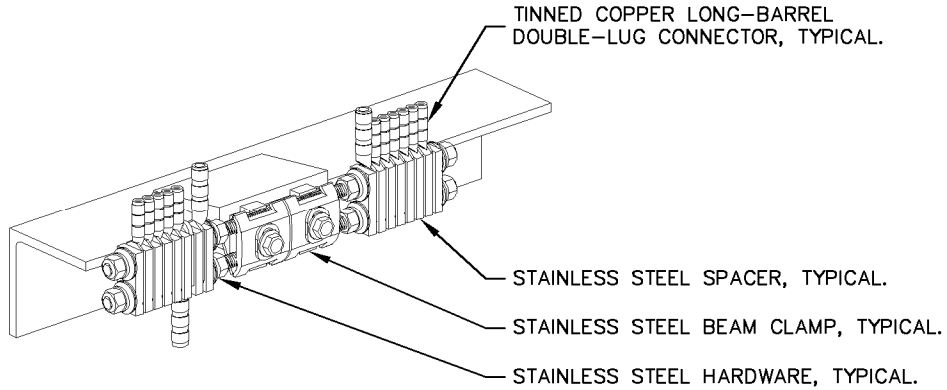
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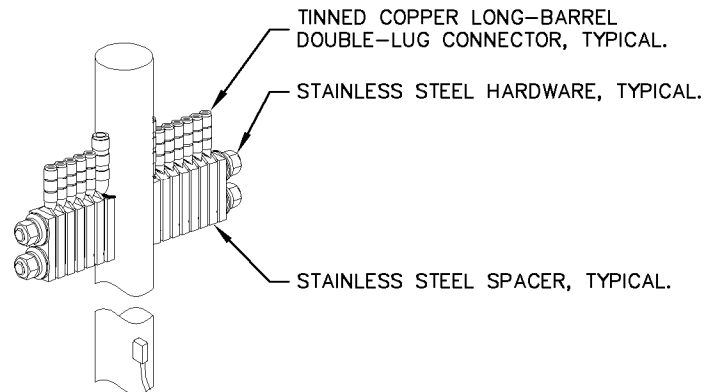
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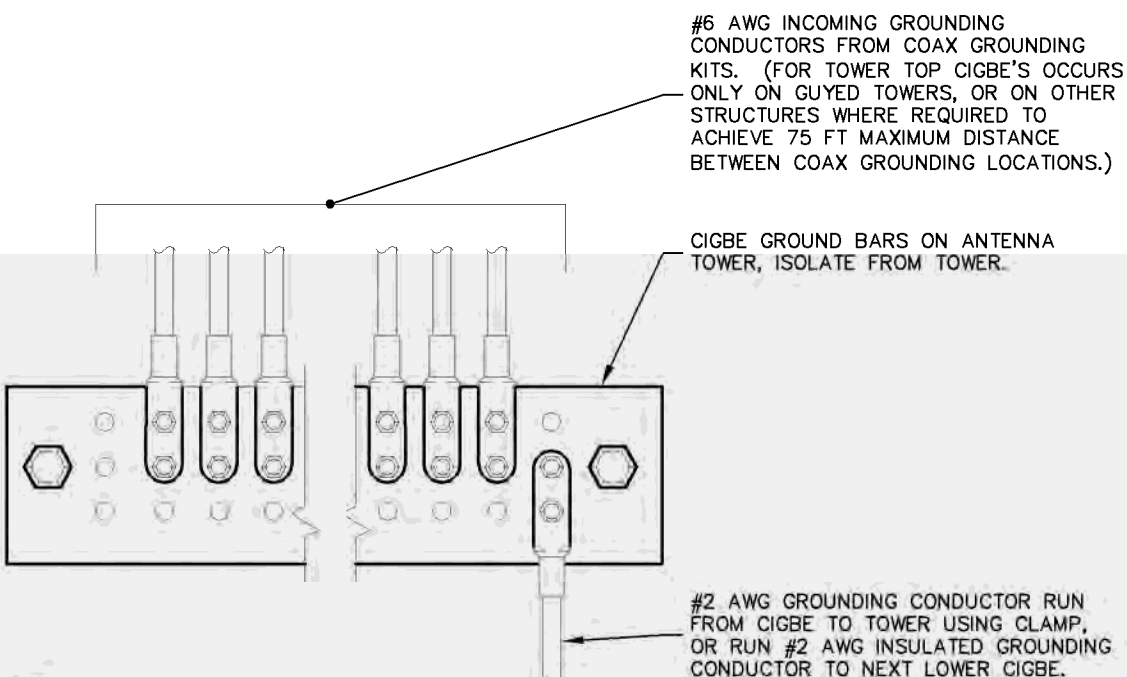
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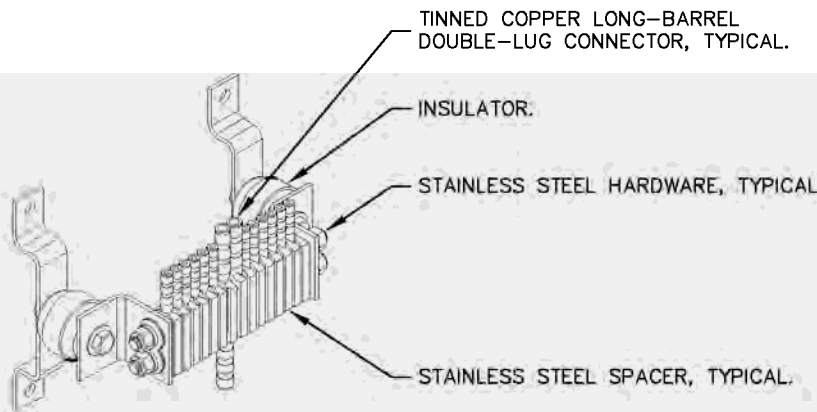
1 BAR NONE GROUNDED BEAM CLAMP (TDSGA-BC14)
E12 NOT TO SCALE



2 BAR NONE POST MOUNTED (TDSGA-PA14)
E12 NOT TO SCALE




3 ANTENNA GROUND WIRE INSTALLATION DETAIL
E12 NOT TO SCALE



4 BAR NONE INSULATED (TDSGA-WB17)
E12 NOT TO SCALE

- NOTES:
1. ALL CIGBE GROUND BARS ON TOWER ARE TO BE ERICO TDSGA. TYPICALLY USE TDSGA-WB17 ISOLATED FROM UNISTRUT BRACKET.
 2. IF CIGBE CANNOT BE CONNECTED TO TOWER WITH #2 AWG GROUNDING CONDUCTOR, VIA CLAMP OR EXOTHERMIC WELD, THEN RUN #2 AWG BLACK GROUND LEAD FROM CIGBE DOWN TO NEXT LOWER CIGBE. SECURE GROUND LEAD WITH NON-METALIC TIES AT SAME SPACING AS COAX SUPPORTS.




8021 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

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SITE No.: 696361
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NC HIGHWAY 22
BENNETT, NC 27208
MOORE COUNTY

PLANS PREPARED BY:

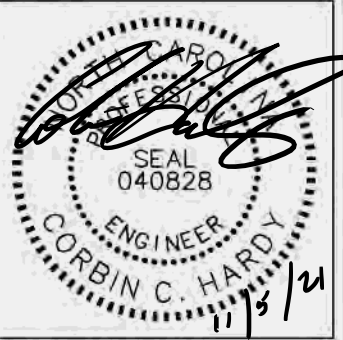


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11/5/21

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SHEET TITLE:

GROUNDING DETAILS

SHEET NUMBER:

E12

COMMUNITY MEETING REPORT

Monday June 27, 2022, 2:00 p.m. – 3:00 p.m.

Proposed Verizon Cell Tower – NC Highway 22

Community Members Present: Darrell Powers, Chesley Rimmer, Carolyn K. Rimmer

Applicant's Representative Present: David Best

Planning Staff Present: Jaimie Walters, Ruth Pedersen

Mr. Best gave a brief description of the proposed cell tower and its location. Mr. Powers fielded questions regarding the proposed tower's distance from the property line, the potential service coverage, the status of another tower in the area, and the timeline in which the new tower would be built. Mrs. Walters provided site plans for Mr. Powers to view. Mr. Best, the planning staff, and the property owners answered all questions to the best of their ability. It was the opinion of the community members present that the tower would not interfere with the surrounding land use and is needed to increase cell service in rural northern Moore County.

List of those notified of the Community Meeting (certified mailings to adjacent properties):

WOODELL JOYCE PURVIS A & TOMMY T
BARBEE SELENA BRADY
BRADY SELENA LEE
GARNER RONALD & EDNA
RIMMER CAROLYN K & CHESLEY L
KIDD WENDELL
POWERS DARRELL
INGUANTI VICKIE KAY SHIELDS
SHIELDS KATHY SHARON & OTHERS
INGUANTI VICKIE SHIELDS & JOHN M

Attachments:

- Site plan presented at the Community Meeting
- Proposed coverage areas presented at the Community Meeting

Submitted by,

Ruth Pedersen, MPA
Senior Planner – Moore County Planning and Inspections

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TOWER SETBACKS TO PROPERTY LINES (FROM TOWER CENTER)	
NORTH	595'-5"
SOUTH	668'-5"
EAST	268'-1"
WEST	1147'-10"

N/F
WENDELL KIDD
PARCEL ID: 863400808652
DB: 462 PG: 81
120.06 AC.

N/F
SELENA L. BRADY
PARCEL ID: 864400000097
DB: 3075 PG: 150
10.46 AC.

N/F
SELENA B. BARBEE
PARCEL ID: 864300103342
DB: 3211 PG: 599
35.63 AC.

N/F
LAURA E. CAMERON
PARCEL ID: 864400300413
DB: 5401 PG: 222
6.22 AC.

PARENT PARCEL
CAROLYN & CHELSEY L. RIMMER
PARCEL ID: 864300099495
DB 5180 PGS: 166-168
PC 15 SLIDE 882
70.20 AC.

PROPOSED LESSEE
100' X 100' PREMISES
(±10,000 SQ. FT.)
(SEE SHEET C13)

N/F
DARRELL POWERS
PARCEL ID: 864300185633
DB: 415 PG: 274
56.17 AC.

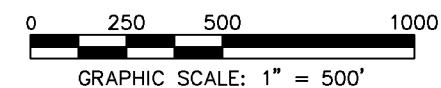
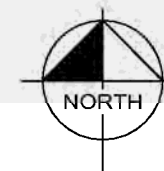
N/F
VICKIE KAY INGUANTI
PARCEL ID: 864300391839
DB: 2015E PG: 365
9.47 AC.

N/F
VICKIE KAY INGUANTI
PARCEL ID: 864300390544
DB: 5173 PG: 294
3.19 AC.

NC HIGHWAY 22
(100' PUBLIC R/W PER
PC 15 SLIDE 822)

GEORGE P. ROAD

KIDD ROAD



SURVEY NOTE:

1. VERIZON WIRELESS STAFF SHALL COORDINATE WITH THE PROPERTY OWNER TO OBTAIN THE PROPER EASEMENT AGREEMENTS TO CONSTRUCT AND MAINTAIN EQUIPMENT IN AND AROUND THE TOWER COMPOUND.
2. PROPOSED COMPOUND LAYOUT BASED ON SURVEY PROVIDED BY SUMMIT DATED 10/05/2021 AND SITE VISIT ON 09/02/2021.

1
C0 **OVERALL SITE PLAN**
SCALE: 1" = 500'

verizon
8821 RESEARCH DRIVE
CHARLOTTE, NORTH CAROLINA 28262

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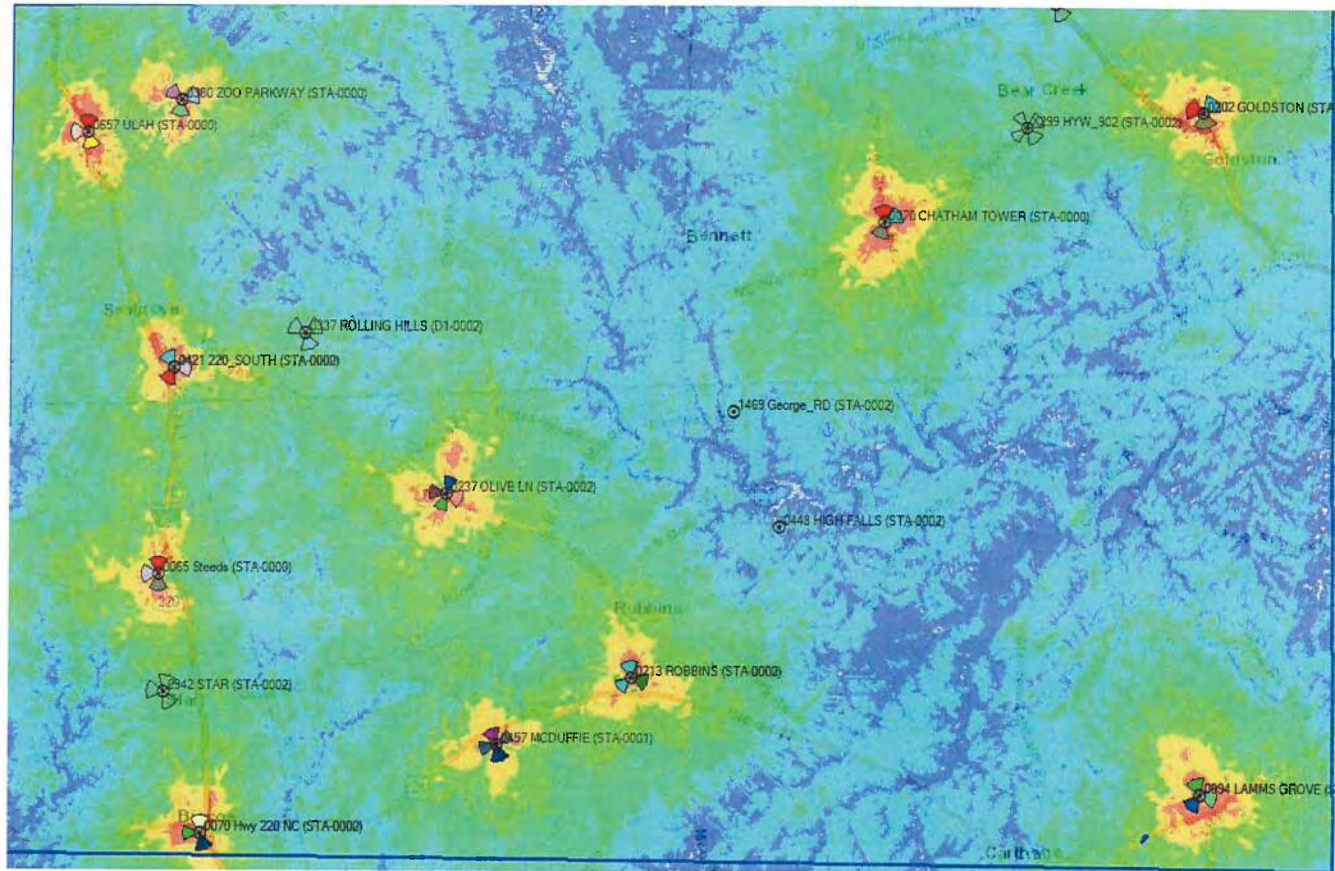
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**OVERALL PARCEL
PLAN**

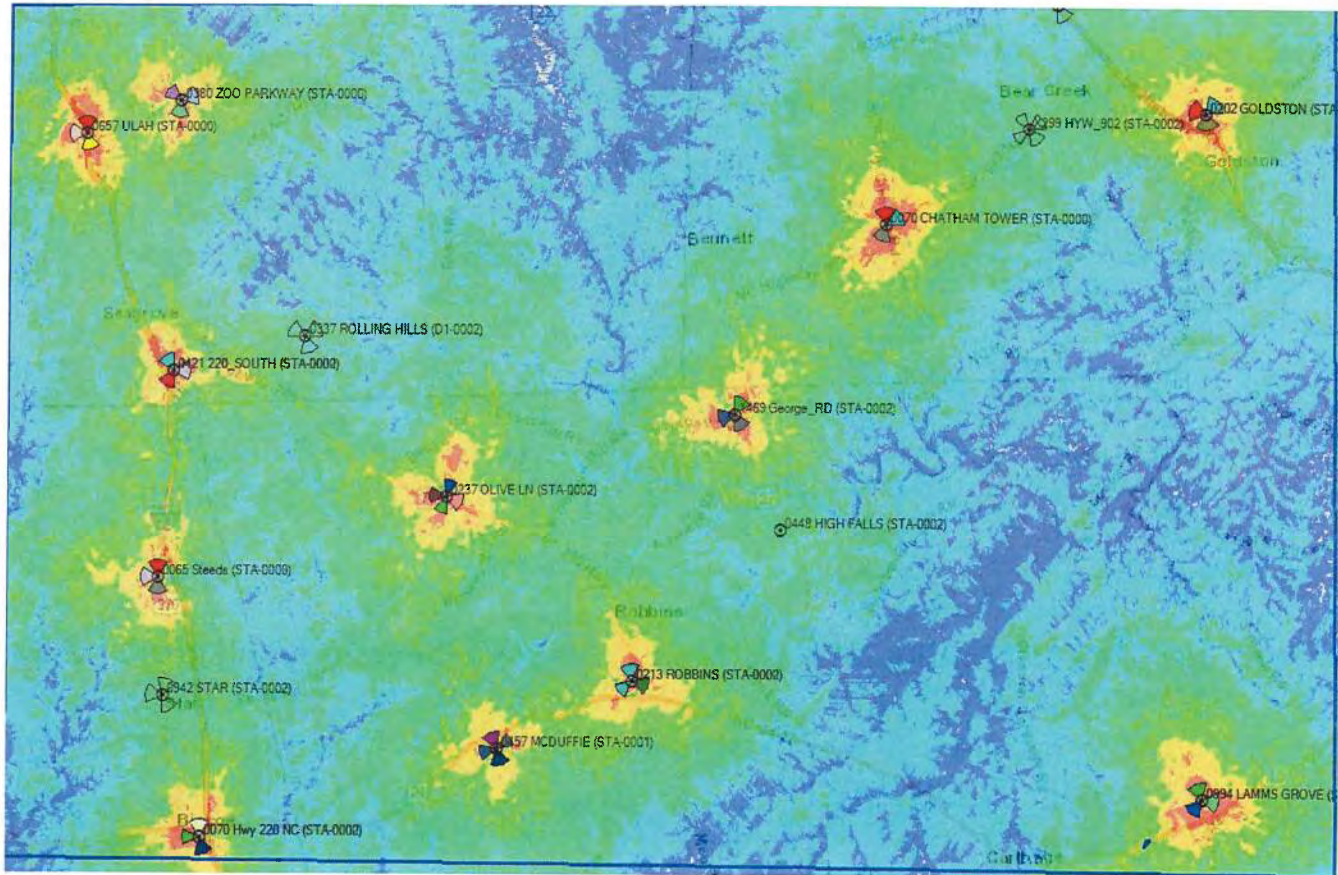
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Pre RSRP



RSRP with CL 250'



For Registration Register of Deeds

Judy D. Martin

Moore County, NC

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Book: 5180 Page: 166 - 168 #Pages: 3

Fee: \$26.00

NC Rev Stamp: \$0.00

Instrument# 2019012173

Commitment Number: 25376941

Seller's Loan Number: 2300536899

NORTH CAROLINA QUITCLAIM DEED

Record and Return To:
ServiceLink
1355 Cherrington Parkway
Moon Township, PA 15108

Excise Tax:0.00

Recording Time, Book and Page

Exempt: Section 105-228.29(5): This deed is exempt from transfer tax pursuant to North Carolina Code Section 105-228.29(5) because this conveyance is a gift.

Tax Lot No. _____ Parcel Identifier No. **864300099495**

Verified by _____ County on the _____ day of _____
 by _____

~~Mail after recording to~~ **424 Nc Highway 22, Bennett, NC 27208**

This instrument prepared by Jay A. Rosenberg, Esq., (Bar Number:50013), a licensed North Carolina Attorney, J. Rosenberg, PA, 3805 Edwards Road, Suite 550, Cincinnati, Ohio 45209 (513) 247-9605 Fax: (866) 611-0170. Any delinquent taxes to be paid by closing attorney/settlement agent upon disbursement of closing proceeds to the county tax collector. The existence of title insurance is unknown to the preparer. This instrument prepared by Jay A. Rosenberg, a licensed North Carolina attorney, without title examination.

THIS DEED made this _____, 2019, by and between

GRANTOR	GRANTEE
Carolyn Kidd Rimmer, A/K/A Carolyn K. Rimmer, grantor, a married woman	Carolyn K. Rimmer and Chesley L. Rimmer, wife and husband

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

Commitment Number: 25376941

PROPERTY APPRAISAL (TAX/APN) PARCEL IDENTIFICATION NUMBER
864300099495

NORTH CAROLINA QUITCLAIM DEED

Exempt: Section 105-228.29(5): This deed is exempt from transfer tax pursuant to North Carolina Code Section 105-228.29(5) because this conveyance is a gift.

Carolyn Kidd Rimmer, A/K/A Carolyn K. Rimmer, grantor, a married woman, hereinafter grantor, for \$0.00 (Zero Dollars and Zero Cents) in consideration paid, grants and quitclaims to **Carolyn K. Rimmer and Chesley L. Rimmer, wife and husband**, as joint tenants with right of survivorship, hereinafter grantees, whose tax mailing address is **424 Nc Highway 22, Bennett, NC 27208**, the following real property:

SITUATED IN MOORE COUNTY, RITTER TOWNSHIP, ADJOINING THE LANDS OF MARTINDALE AND OTHERS, BOUNDED AS FOLLOWS:

BEGINNING AT A WHITE OAK, MARTINDALE'S CORNER, RUNNING THENCE 57 POLES TO A STAKE, THENCE EAST 44 POLES TO A POST OAK, THENCE NORTH 23 POLES TO A PINE, THENCE WEST 76 POLES TO A STAKE, THENCE NORTH 8 POLES TO A STAKE, THENCE WEST 18 POLES TO A STAKE, THENCE 38 POLES NEARLY SOUTH OF WEST TO A POST OAK, THENCE WEST 52 POLES TO CEDAR CREEK, THENCE DOWN CEDAR CREEK WITH MARTINDALE'S LINE 139 POLES TO THE BEGINNING, CONTAINING 96 ACRES, MORE OR LESS.

Said property having been previously acquired by Grantor by: **Official Records Book RE 1789, Page 313**

The real property described above is conveyed subject to the following: All easements, covenants, conditions and restrictions of record; All legal highways; Zoning, building and other laws, ordinances and regulations; Real estate taxes and assessments not yet due and payable; Rights of tenants in possession.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title interest, lien equity and claim whatsoever of the said grantor, either in law or equity, to the only proper use, benefit and behalf of the grantees forever.

Executed by the undersigned on August 9, 2019:

Carolyn Kidd Rimmer A/K/A Carolyn K. Rimmer
Carolyn Kidd Rimmer, A/K/A
Carolyn K. Rimmer

STATE OF SC
COUNTY OF Hwy

The foregoing instrument was acknowledged before me on August 9, 2019 by **Carolyn Kidd Rimmer, A/K/A Carolyn K. Rimmer** who are personally known to me or have produced Driver's License as identification, and furthermore, the aforementioned persons have acknowledged that their signatures were their free and voluntary act for the purposes set forth in this instrument.



[Signature]
Notary Public

MEMORANDUM TO THE PLANNING BOARD

FROM: Debra Enslinger
Planning and Inspections Director

DATE: June 1, 2022

SUBJECT: Conditional Rezoning Request: Residential and Agricultural-40 (RA-40) & Highway Commercial (B-2) to Highway Commercial Conditional Zoning (B-2/CZ) – US 15-501 Highway

PRESENTER: Jaimie Walters

REQUEST

Jeff Tucker, Vice-President of JT & JR, Inc., is requesting a Conditional Rezoning from Residential and Agricultural-40 (RA-40) & Highway Commercial (B-2) to Highway Commercial Conditional Zoning (B-2/CZ) to construct a building and storage yard for a Contractor Office on an approximately 4.96-acre portion of two parcels of approximately 14.07 acres located on US 15-501 Highway, owned by JT & JR, Inc., per Deed Book 5504 Page 445 and Deed Book 5446 Page 365 and further described as ParID 00014913 and 00016274 in Moore County Tax Records.

Public notification consisted of publishing a legal notice in the local newspaper for two consecutive weeks, notification by mail to adjacent property owners, and placing public hearing signs on the property.

BACKGROUND

The entire parent property is undeveloped timberlands. Adjacent properties include a single-family dwelling, undeveloped property, and a landscaping business.

The parcels are located within the Urban Transition Highway Corridor Overlay District. While the parcels do have some freshwater forested/shrub and riverine wetlands, none are located within the rezoning area. The rezoning area is within a half-mile of a Voluntary Agricultural District. One parcel is also within the AE – 1% (100-year) Flood Zone, however the rezoning area is located approximately 200' +/- from the closest boundary.

This request was originally brought before the Planning Board on January 6, 2022 and forwarded to the Board of Commissioners for their February 15, 2022 meeting. The case was then continued until the March 15, 2022 meeting due to the revelation that there was a septic easement that impacted the proposed site specific development plan. Due to the developer needing more acreage rezoned than was originally requested, the initial request was withdrawn on April 19, 2022 and resubmitted as a new request.

COMMUNITY MEETING

The community meeting was conducted at the Moore County Sports Complex Multi-Purpose Room on June 20th, 2022, between 5:30 pm and 6:30 pm. Adjacent properties were notified by certified return receipt mail, sent on June 10, 2022. Please refer to attached report for more details.

CONDITIONAL ZONING (CZ)

Conditional rezoning affords a degree of certainty in land use decisions not possible when rezoning to a general district. Conditional Zoning Districts are established to provide for flexibility in the development of property while ensuring that the development is compatible with neighboring uses. Pursuant to NCGS 160D-703, conditional zoning districts requires the approval of a rezoning by the Moore County Board of Commissioners and approval of a site-specific development plan allowing for the development of specific land uses.

Parallel conditional zoning districts are restricted to those uses (meaning either one or multiple uses) listed in the corresponding general use zoning district.

The request shall be in compliance with all relevant portions of the UDO, except that variations from these standards may be approved by the Board of Commissioners if the site plan is submitted and determined to be suitable for the request, is consistent with the intent of the standards, and ensures compatibility with land uses on surrounding properties.

Specific additional conditions applicable to the rezoning request may be proposed by the applicant, the Planning Board, or Board of Commissioners. Only those conditions mutually approved by the county and the applicant may be incorporated into the permit requirements. If a proposed condition is unacceptable to the owner, the petition can be withdrawn, and the proposed rezoning cannot go forward. Likewise, if a condition is unacceptable to the Board of Commissioners, the petition can be denied and there is no rezoning.

Per NCGS 160D-703(b), conditions and site-specific standards shall be limited to those that address the conformance of development and use of the site to County ordinances and officially adopted plans and those that address the impacts reasonably expected to be generated by the development or use of the site.

ZONING DISTRICT COMPATIBILITY

The requested rezoning to Highway Business Conditional Zoning (B-2/CZ) is consistent with the existing uses and zoning located near the property, which includes several non-residential uses. US 15-501 Highway from Carthage to Pinehurst is in the Urban Transition Highway Corridor Overlay District. The surrounding area is zoned Residential and Agricultural-40 (RA-40), Highway Business (B-2), Office and Professional (OP – Village of Pinehurst), Residential (R5 – Village of Pinehurst) and Residential Single Family (RS-3 – Town of Southern Pines).

CONSISTENCY WITH THE 2013 MOORE COUNTY LAND USE PLAN

The future land use map identifies the property as Rural Agricultural Classification. The requested zoning to Highway Commercial Conditional Zoning (B-2/CZ) is not compatible with the Rural Agricultural Land Use Classification. However, the site to be rezoned is adjacent to both the municipal limits and ETJ of the Village of Pinehurst and the municipal limits of the Town of Southern Pines. The Urban Transition Highway Corridor Overlay's goal is to provide

attractive development along highway corridors and to keep in visual character of the nearby Towns.

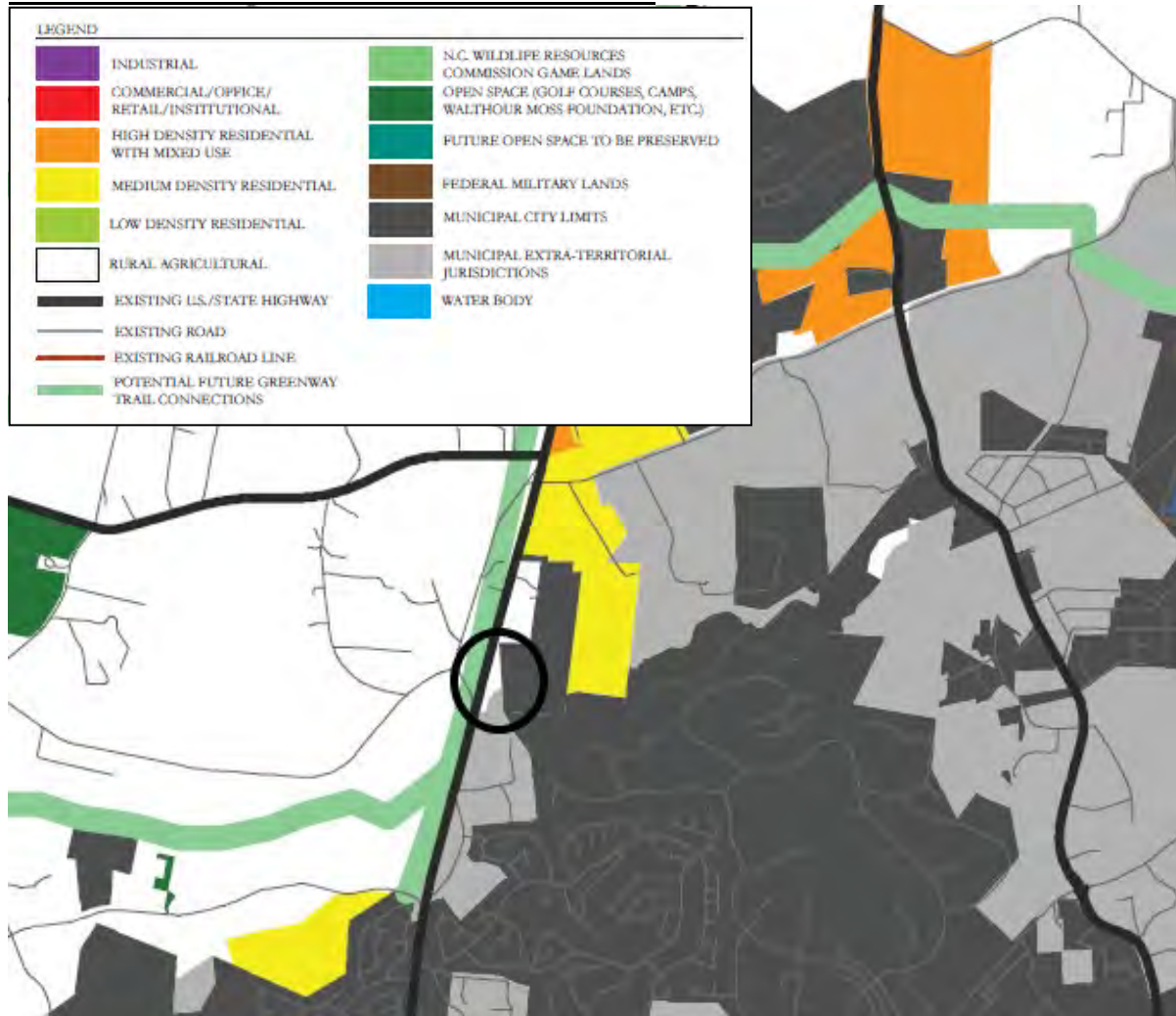
The Land Use Plan states the primary use of the Rural Agricultural Land Use Classification is to support rural residential life associated with agricultural uses (e.g., row crops, forestry, horticulture, grazing, poultry, dairy, swine operations, and intensive agricultural uses in certain areas) and other rural activities.

The Moore County Unified Development Ordinance states the Highway Commercial (B-2) district provides for the development of commercial and service centers that serve community, countrywide, or regional commercial needs, are accessible by residents from surrounding neighborhoods, and are of such nature so as to minimize conflicts with surrounding residential areas.

If the rezoning request is approved, staff recommends updating the Land Use Map to reclassify the site to the Commercial/Office/Retail/Institutional Classification.

The rezoning request aligns with the following recommendation as included in the attached Land Use Plan Consistency Statement, including Action 1.8.5: Support and promote infill development that will optimize the use of existing infrastructure and Action 3.1.2: Encourage non-residential development to locate near major transportation routes and areas served by adequate water, sewer, natural gas, broadband, and electric power.

MOORE COUNTY FUTURE LAND USE MAP



RECOMMENDATION

Staff recommends the Moore County Planning Board make two separate motions:

Motion #1: Make a motion to adopt the attached **Approval** or **Denial** Moore County Planning Board Land Use Plan Consistency Statement and authorize its Chairman to execute the document as required by North Carolina General Statute 160D-604.

Motion #2: Make a motion to recommend **Approval** or **Denial** to the Moore County Board of Commissioners of the Conditional Rezoning from Residential and Agricultural-40 (RA-40) & Highway Commercial (B-2) to Highway Commercial Conditional Zoning (B-2/CZ) to construct a building and storage yard for a Contractor Office on an approximately 4.96-acre portion of two parcels of approximately 14.07 acres located on US 15-501 Highway, owned by JT & JR, Inc., per Deed Book 5504 Page 445 and Deed Book 5446 Page 365 and further described as ParID 00014913 and 00016274 in Moore County Tax Records.

ATTACHMENTS

- Pictures of Property and Adjacent Properties
- Vicinity Map
- Land Use Map
- Rezoning Map
- Planning Board Consistency Statement – Approval
- Planning Board Consistency Statement – Denial
- Submitted Conditional Rezoning Application
- Submitted Site Specific Development Plan
- Community Meeting Report
- Deed Book 5504 Page 445
- Deed Book 5546 Page 365

View of proposed contractor office site



View of remaining parent tract




Adjacent property – 7740 US HWY 15-501



Adjacent property – 7757 US HWY 15-501



Vicinity Map

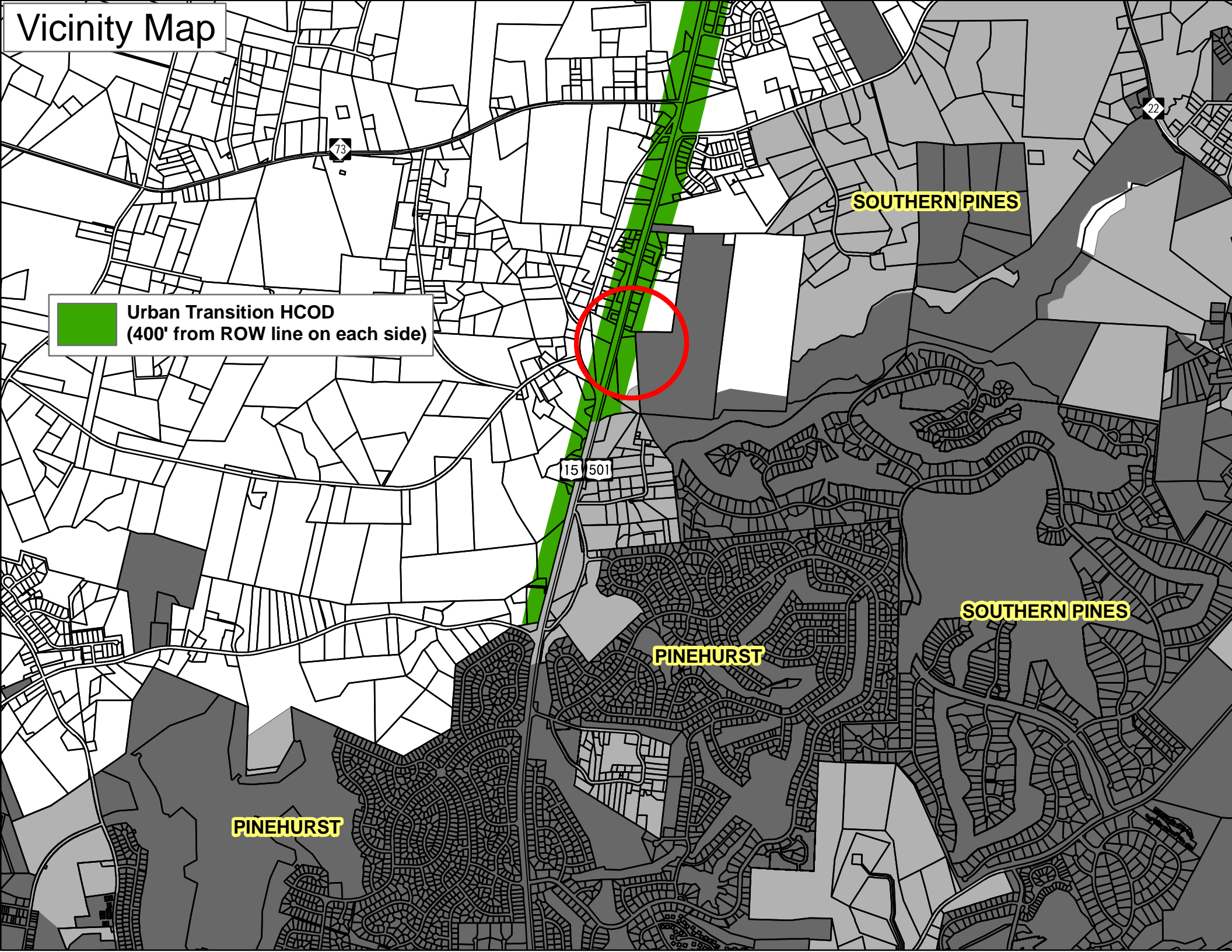
 Urban Transition HCOD
(400' from ROW line on each side)

SOUTHERN PINES

SOUTHERN PINES

PINEHURST

PINEHURST



Land Use Map

Landscaping
Business

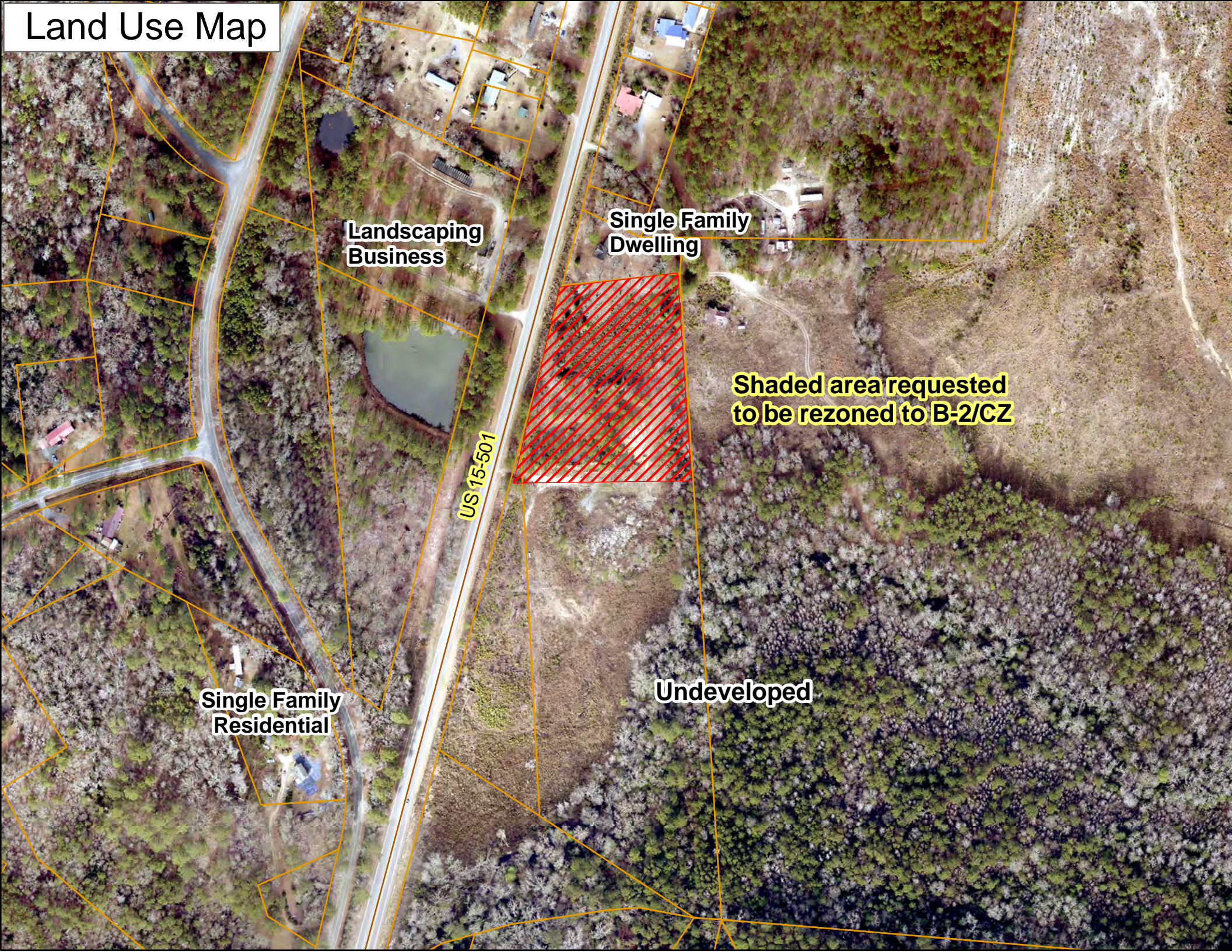
Single Family
Dwelling

Shaded area requested
to be rezoned to B-2/CZ

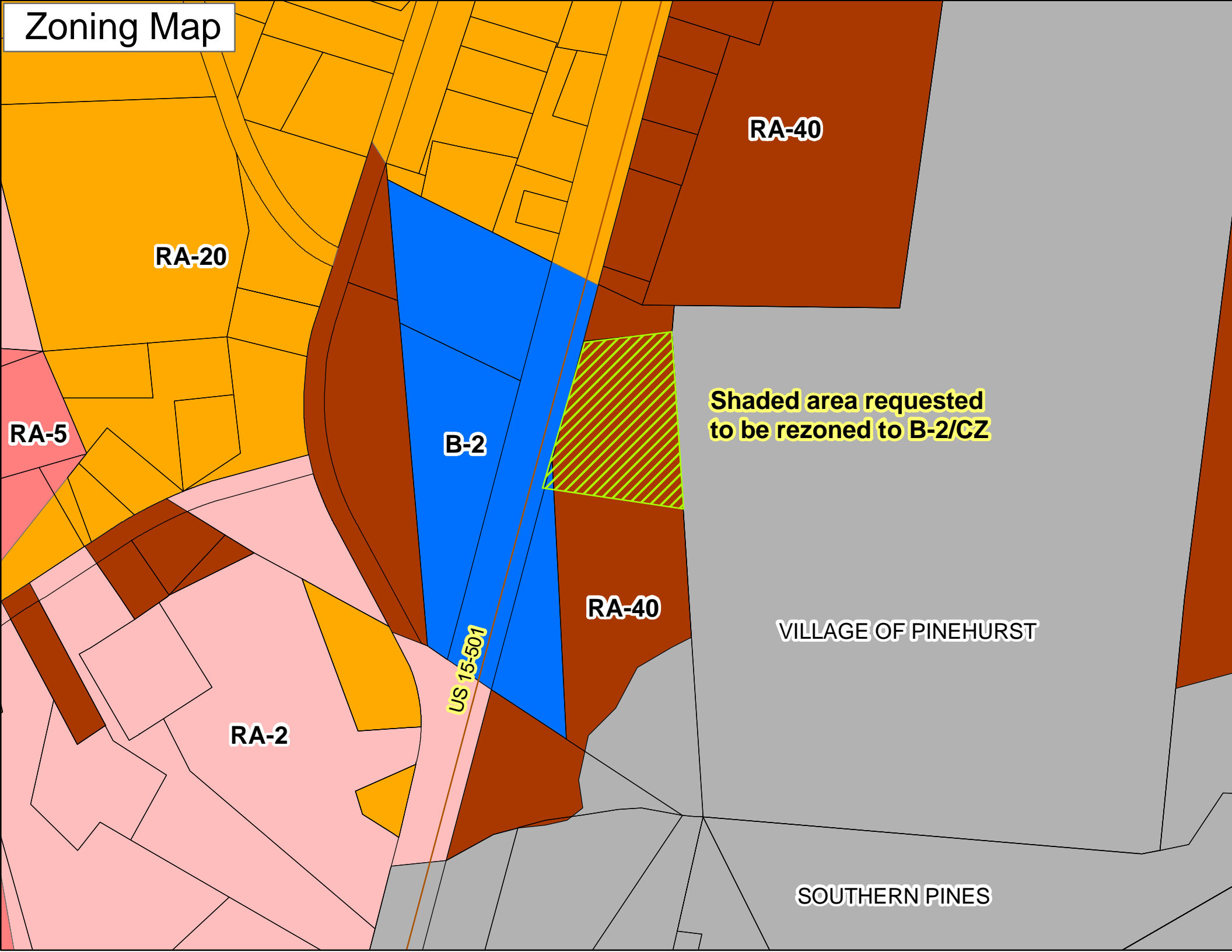
US 15-501

Single Family
Residential

Undeveloped



Zoning Map



Municipal Zoning Map

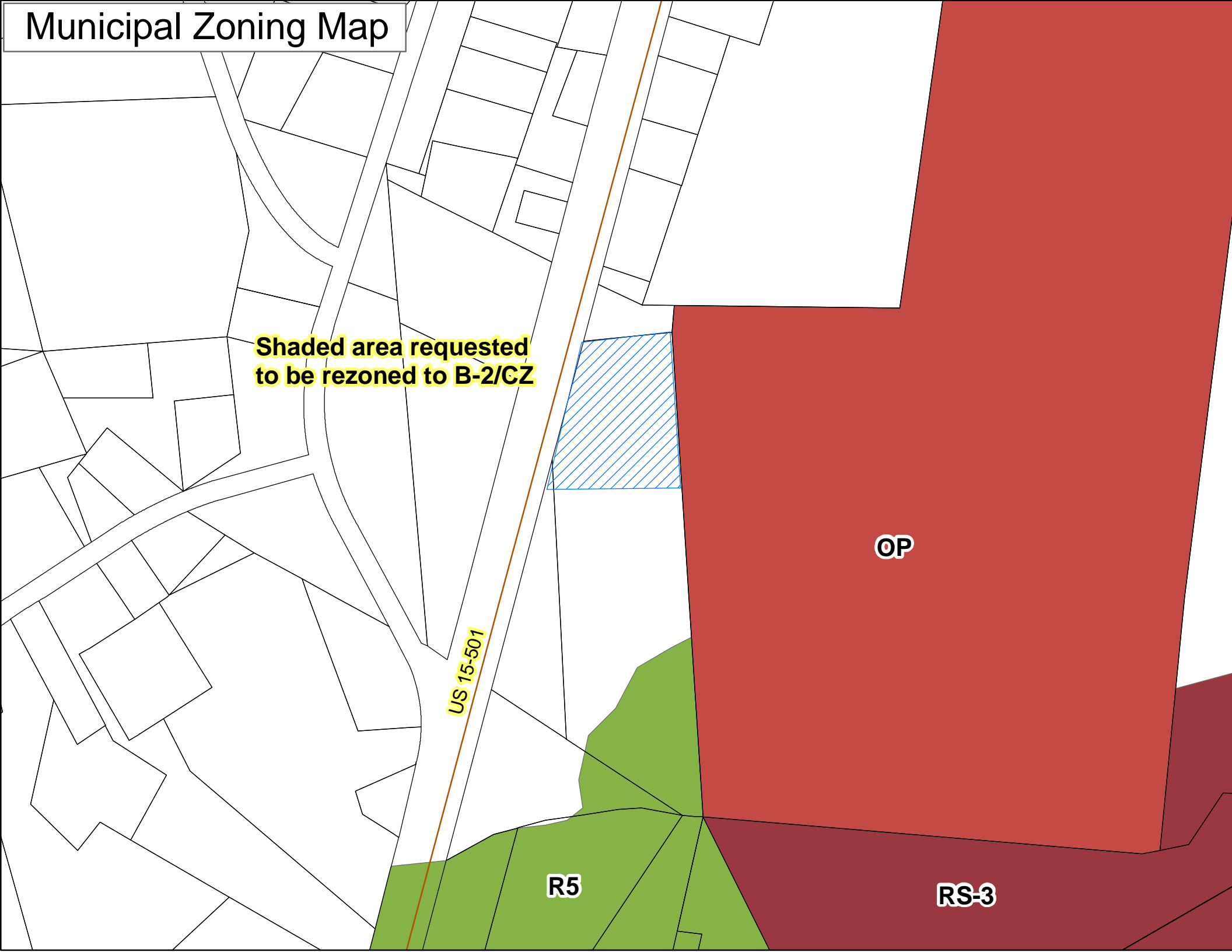
**Shaded area requested
to be rezoned to B-2/CZ**

US 15-501

OP

R5

RS-3



Moore County Planning Board
Land Use Plan Consistency Statement
Conditional Rezoning Request
Residential and Agricultural-40 (RA-40) and Highway Commercial (B-2) to Highway
Commercial Conditional Zoning (B-2/CZ)

The Moore County Planning Board finds that:

1. The rezoning request is consistent with the following goals as listed in the 2013 Moore County Land Use Plan:

Goal 1: Preserve and Protect the Ambiance and Heritage of the County of Moore (inclusive of areas around the municipalities)

- Action 1.8.5: Support and promote infill development that will optimize the use of existing infrastructure; and

Goal 3: Maximize accessibility among living, working, and shopping areas

- Action 3.1.2: Encourage non-residential development to locate near major transportation routes and areas served by adequate water, sewer, natural gas, broadband, and electric power.

2. Approval of the rezoning request is also deemed an amendment to the Land Use Plan Future Land Use Map by reclassifying the site to the Commercial/Office/Retail/Institutional Land Use Classification.

3. The rezoning request is reasonable and in the public interest considering the property is located adjacent to a major thoroughfare, is located within the Urban Transition Highway Corridor Overlay and has access to public water.

4. Contributing factors in the rezoning approval are in response to managing the location and appearance of commercial growth. This site is determined to be suitable for development due to its proximity to the Towns of Carthage, Southern Pines and Village of Pinehurst.

Therefore, the Moore County Planning Board recommends **APPROVAL** of the Conditional Rezoning from Residential and Agricultural-40 (RA-40) & Highway Commercial (B-2) to Highway Commercial Conditional Zoning (B-2/CZ) to construct a building and storage yard for a Contractor Office on an approximately 4.96-acre portion of two parcels of approximately 14.07 acres located on US 15-501 Highway, owned by

JT & JR, Inc., per Deed Book 5504 Page 445 and Deed Book 5446 Page 365 and further described as ParID 00014913 and 00016274 in Moore County Tax Records.

Joe Garrison, Chair
Moore County Planning Board

Date

Moore County Planning Board
Land Use Plan Consistency Statement
Conditional Rezoning Request
Residential and Agricultural-40 (RA-40) and Highway Commercial (B-2) to Highway
Commercial Conditional Zoning (B-2/CZ)

The Moore County Planning Board finds that:

1. The rezoning request is consistent with the following goals as listed in the 2013 Moore County Land Use Plan:

Goal 1: Preserve and Protect the Ambiance and Heritage of the County of Moore (inclusive of areas around the municipalities)

- Action 1.8.5: Support and promote infill development that will optimize the use of existing infrastructure; and

Goal 3: Maximize accessibility among living, working, and shopping areas

- Action 3.1.2: Encourage non-residential development to locate near major transportation routes and areas served by adequate water, sewer, natural gas, broadband, and electric power.

2. The proposed rezoning is not reasonable and not in the public interest because the proposed rezoning will have an unreasonable impact on the surrounding community.

Therefore, the Moore County Planning Board recommends **DENIAL** of the Conditional Rezoning from Residential and Agricultural-40 (RA-40) & Highway Commercial (B-2) to Highway Commercial Conditional Zoning (B-2/CZ) to construct a building and storage yard for a Contractor Office on an approximately 4.96-acre portion of two parcels of approximately 14.07 acres located on US 15-501 Highway, owned by JT & JR, Inc., per Deed Book 5504 Page 445 and Deed Book 5446 Page 365 and further described as ParID 00014913 and 00016274 in Moore County Tax Records.

Joe Garrison, Chair
Moore County Planning Board

Date



County of Moore Planning and Inspections

Inspections/Permitting: (910) 947-2221

Planning: (910) 947-5010

Fax: (910) 947-1303

Conditional Rezoning Application

Application Date: 5/9/22			
Address of Property: Parcel Not Addressed, NC Hwy 15-501 North of Lea Rd. on the East side of 15-501			
Applicant: Jeff Tucker, Vice President			Phone: 910-690-0167
Applicant Address: 965 Old US 1	City: Southern Pines	St: NC	Zip: 28387
Owner: JT & JR Inc			Phone: 910-690-0167
Owner Address: 965 Old US 1	City: Southern Pines	St: NC	Zip: 28387
Current Zoning District: RS-40, B-2	Proposed Zoning District: B-2 Conditional District		
Current Use(s): Vacant (Timbered Property)	Proposed Use(s): Contractor Office		
<p>Proposed rules, regulations, condition(s) for the proposed district that address the impacts expected to be generated by the development or use of the site:</p> <p>Property Consists of three parcels PAR ID 00016274 - Current Zoning B-2, 2.07 AC PAR ID 00014913 Current Zoning RA-40, 12 AC - this would have split zoning VOP R-5 Residential PAR ID 00018699 Current Zoning RA-40, 3.182 AC</p> <p>Parcels would be recombined into one and only the area the site is on is to be changed to B-2 CD (See the concept plan) and all other parcels to remain as they are currently zoned.</p>			
<p>Statement of reasonableness of the proposed conditional zoning. The statement shall include, but not be limited to the following:</p> <ol style="list-style-type: none">1. The conditional rezoning compatibility with the County Land Use Plan and other adopted plans of the County.2. The conditional rezoning compatibility with the existing land uses on abutting and neighboring tracts.3. The benefits and detriments of the conditional rezoning for the subject property, neighboring properties and the surrounding community.			
<p>The property(s) will be compatible with the surrounding land uses in that one of the subject parcels is currently zoned B-2, B-2 zoning for the Landscape company across 15-501 with surrounding VOP zoning districts of OP and R-5 (high-density residential). The land use being proposed is for a general contractor's office on the combined 17 acres. While the zoning may appear to be intense the site has a flood zone and wetlands to the south that will not be developed. The conditional zoning proposed for the property will occupy approximately 6 acres of the 17 available acreage (35%). All buffer standards and setbacks per the UDO will be met as well as associated landscaping requirements.</p>			

I (We), the undersigned, certify that all statements furnished in this application are true to the best of my (our) knowledge, and do hereby agree to follow all reasonable requests or information as designated by the County of Moore Zoning Administrator.

Jackson Maples

5/9/22

Applicant/Owner Signature

Date

[Signature]

Office Use Only:

App#40230

PAR ID: 00014913 + 00016274

Jaime L. Walters

5-20-22

Received By

Date

COMMUNITY MEETING REPORT
Monday, June 20, 2022, 5:30 p.m. – 6:30 p.m.
Proposed Contractors Office and Storage Yard – US 15-501 Highway

Community Members Present:

Belinda Brown, Linda Gillespie, Richard Barnes, Joyce Jackson, Pauline Ross, Sharon Graham

Applicant's Representative Present:

Jeff Tucker, Tim Carpenter, Jackson Maples, Jeremy Robins

Planning Staff Present:

Jaimie Walters

Mr. Maples gave a brief description of the proposed request to those in attendance and handed out copies of the revised site plan. Mr. Carpenter and the owners fielded questions regarding runoff, stormwater controls, size and weight of vehicles used in the operation of the contractor business, location of driveways and maintenance of Ms. Jackson's septic system/field. Mr. Carpenter and the owners answered all questions to the best of their ability. It was the opinion of the community members present that this area is residential and should stay residential.

List of those notified of the Community Meeting (certified mailings to adjacent properties):

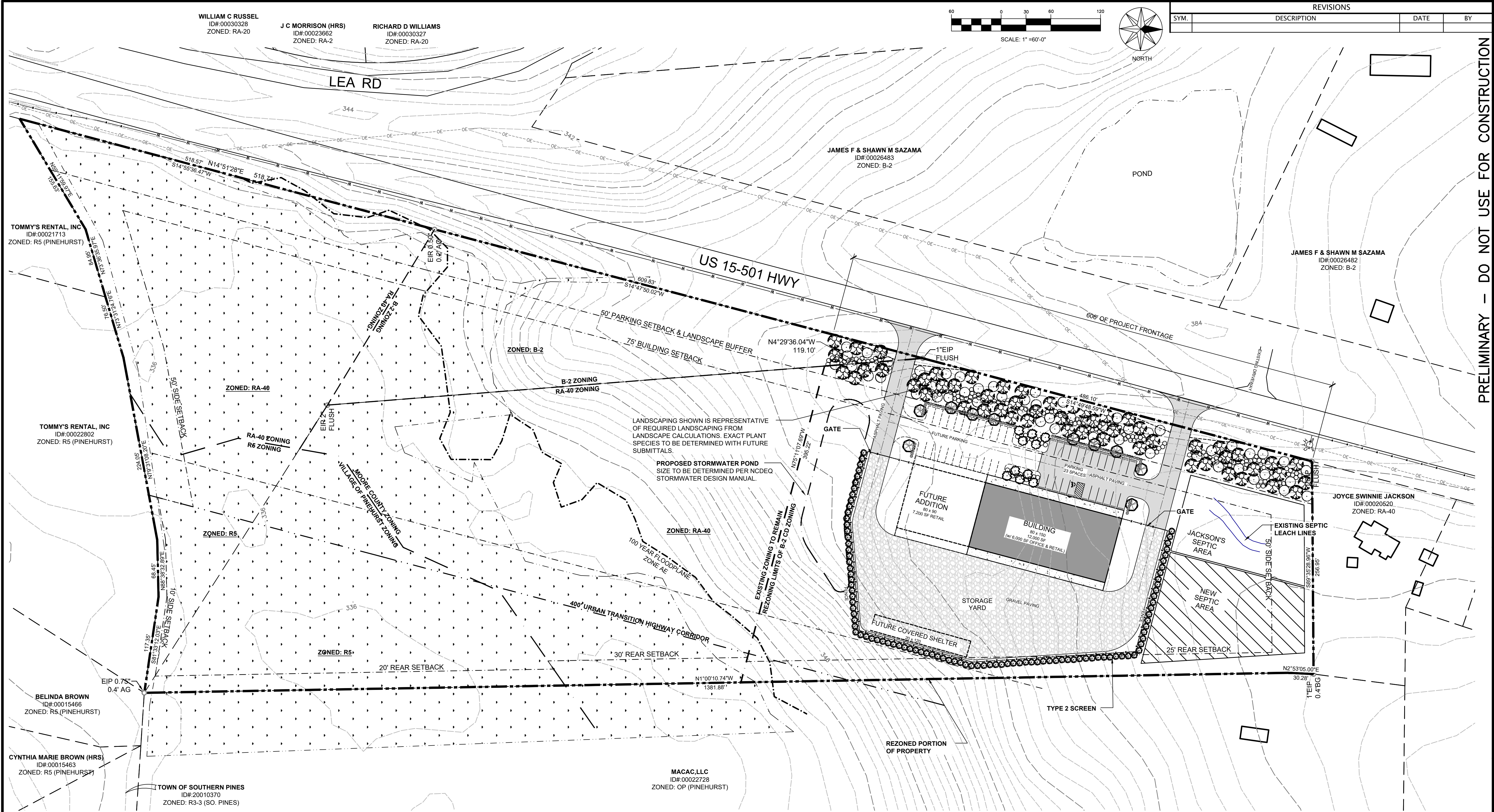
JT & JR INC
BROWN BELINDA
JACKSON JOYCE SWINNIE
MACAC LLC
TOMMY'S RENTAL INC
SAZAMA JAMES F & SHAWN M
SOUTHERN PINES TOWN OF
DARRYN BURICH

Attachments:

- Site plan presented at the Community Meeting

Submitted by,

Jaimie Walters, MPA, CZO
Senior Planner – Moore County Planning and Inspections



DIMENSIONAL STANDARDS (5.1)
AREA: 10,000sf MINIMUM
LOT WIDTH: 75' MINIMUM
LOT FRONTAGE: 100' MINIMUM
PRINCIPAL BUILDING SETBACKS: FRONT - 50'
SIDE - NONE
SIDE CORNER - 25'
REAR - 25'
ACCESSORY BUILDING SETBACKS: FRONT - 50'
SIDE - 15'
SIDE CORNER - 20'
REAR - 20'

REZONED PORTION
PROPOSED ZONING: B-2 CD
AREA: 4.96 AC. (216,021sf) (PREVIOUSLY 4.76 AC.)

HIGHWAY CORRIDOR STANDARDS (7.8)
URBAN TRANSITION HIGHWAY CORRIDOR OVERLAY DISTRICT
DEPTH: 400' FROM R-O-W
CONDITIONAL ZONING USE: CONTRACTOR'S STORAGE YARD & OFFICE
STORMWATER MANAGEMENT: 25 YEAR, 24 HOUR DESIGN STORM
STORMWATER CONTROL MEASURES PER NCDEQ STORMWATER DESIGN MANUAL
BUILDING SETBACKS: FROM RESIDENTIAL DISTRICTS - 50'
FROM NON-RESIDENTIAL DISTRICTS - 25'
BUILDING HEIGHT: 35' MAXIMUM
PARKING SETBACKS: FROM R-O-W: 50'
PAVING SURFACE: ASPHALT - PARKING AND DRIVEWAYS
GRAVEL - STORAGE YARD
CURBING: WHEELSTOPS
SERVICE AREAS SCREENING: TYPE 1 OR TYPE 2
DRIVEWAYS: 2 PER LOT MAXIMUM, 30' APART MINIMUM
VEHICLE USE SCREENING: PERIMETER: 1 TREE/ 30 lf & 1 SHRUB/ 3 lf OF FRONTAGE
INTERIOR: 2 TREES & 4 SHRUBS PER 10 SPACES

PARKING DIMENSIONS & CALCULATIONS
SIZE: 9' WIDE x 18 FEET DEEP MINIMUM
BACK-UP AISLE: 20' MINIMUM
REQUIRED SPACES: 1 PER EMPLOYEE AND 1/300sf OFFICE SPACE
EMPLOYEES: 3 = 3 SPACES REQUIRED
6000sf OFFICE / 300 = 20 SPACE REQUIRED
TOTAL SPACES REQUIRED: 23
TOTAL SPACES PROVIDED: 23 (22 STANDARD AND 1 HANDICAP)

WATERSHED REQUIREMENTS
WATERSHED: WS-III-BW NICKS CREEK
MAXIMUM IMPERVIOUS: 24 % (70% W/ SNIA)
LOT SIZE: 16.49 ACRES TOTAL (718,391sf)
ALLOWABLE IMPERVIOUS SURFACE: 16.46ac. x 0.24 = 3.95 acs (172,393sf)
PROPOSED IMPERVIOUS SURFACE (INCLUDES FUTURE): 2.07 acs. (90,000sf, 12.55%)

LANDSCAPE CALCULATIONS
1. 606' OF ROAD FRONTAGE OF PROJECT AREA
TREES REQUIRED: 18 PER 100 lf = 6.06 x 18 = 109 TREES REQUIRED
109 TREES PROVIDED
SHRUBS REQUIRED: 25 PER 100 lf = 6.06 x 25 = 152 SHRUBS REQUIRED
152 SHRUBS PROVIDED
2. VEHICLE USE AREA PERIMETER: 292 lf TOTAL FRONTAGE
TREES REQUIRED: 1 PER 30 lf = 292 / 30 = 10 TREES REQUIRED
10 TREES PROVIDED
SHRUBS REQUIRED: 1 PER 3 lf = 292 / 3 = 98 SHRUBS REQUIRED
98 SHRUBS PROVIDED
3. SCREENING WITHIN V.U.A.: 47 PARKING SPACES (INCLUDES FUTURE)
2 TREES PER 10 SPACES = 2 x 4.7 = 10 TREES REQUIRED
10 TREES PROVIDED
4 SHRUBS PER 10 SPACES = 2 x 4.7 = 19 SHRUBS REQUIRED
19 SHRUBS PROVIDED
4. SERVICE AREA SCREENING: TYPE 2 SCREEN = SINGLE ROW OF SHRUBS TO BE 10' HIGH AT 5 YEARS AFTER PLANTING.

SPECIAL USE STANDARDS (8.96)
CONTRACTOR'S STORAGE YARD & OFFICE
1. ALL STORAGE BUILDINGS AND OUTDOOR STORAGE AREAS SHALL BE LOCATED A MINIMUM 50 FEET FROM ANY RESIDENTIALLY ZONED PROPERTY LINE
2. 1 PARKING SPACE PER EMPLOYEE AND 1 SPACE PER 300sf OF OFFICE SPACE

NOTES
1. SITE LIGHTING SHALL COMPLY WITH HIGHWAY CORRIDOR OVERLAY DISTRICT (SECTION 7.8.Q) FOR ALL PROPOSED LIGHTING.
2. BUILDING SHALL CONFORM TO ALL HIGHWAY CORRIDOR OVERLAY DISTRICT BUILDING STANDARDS (SECTION 7.8.I).
3. PROPOSED FENCE TO BE 6' HIGH, VINYL COATED.
4. ALL PARKING TO HAVE WHEELSTOPS.

REVISIONS

SYM.	DESCRIPTION	DATE	BY
------	-------------	------	----

PRELIMINARY - DO NOT USE FOR CONSTRUCTION

JOHN CAROLINA PROFESSIONAL SEAL 04255 PHILIP A. BLOMBERG

LKC Engineering, pllc
140 Aqua Shed Court
Aberdeen, NC 28315
O: 910.420.1437
F: 910.637.0096
lkceengineering.com
License No. P-1095

Engineering
Landscape Architecture
Surveying

CONCEPTUAL
SITE PLAN
(REZONE FROM RA-40 TO B-2)

JT & JR, LLC
COMMERCIAL BUILDING

Moore County, North Carolina

DATE: 6-15-2022

DESIGNED:

DRAWN: LS

CHECKED:

NO.

L-01

For Registration Register of Deeds
Judy D. Martin

Moore County, NC

Electronically Recorded

October 16, 2020 1:13:56 PM

Book: 5446 Page: 365 - 367 #Pages: 3

Fee: \$26.00 NC Rev Stamp: \$170.00

Instrument # 2020020143

NORTH CAROLINA GENERAL WARRANTY DEED

Excise Tax: \$ 170.00

Parcel Identifier No. _____ Verified by _____ County on the _____ day of _____, 20____
By: _____

Mail/Box to: GRANTEE

This instrument was prepared by: William M. Van O'Linda, Jr. (ka), 90 Cherokee Road, 3rd Floor, Pinehurst, NC 28374

Brief description for the Index: _____

THIS DEED made this 12th day of OCTOBER, 2020, by and between

GRANTOR

Daniel P. Black and wife,
Mary C. Black
1976 Roseland Road
Aberdeen, NC 28315

GRANTEE

JT & JR, Inc., a North Carolina corporation
965 Old US Hwy 1
Southern Pines, NC 28387

Enter in appropriate block for each Grantor and Grantee: name, mailing address, and, if appropriate, character of entity, e.g. corporation or partnership.

The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors, and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH, that the Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all that certain lot, parcel of land or condominium unit situated in the City of _____, _____ Mineral Springs _____ Township, _____ Moore _____ County, North Carolina and more particularly described as follows:

SEE EXHIBIT "A" FOR LEGAL DESCRIPTION WHICH IS INCORPORATED HEREIN.

THE ATTORNEY PREPARING THIS INSTRUMENT HAS MADE NO RECORD SEARCH OR TITLE EXAMINATION AS TO THE PROPERTY HEREIN DESCRIBED.

The property hereinabove described was acquired by Grantor by instrument recorded in Book 2185 page 344.
All or a portion of the property herein conveyed includes or X does not include the primary residence of a Grantor.

A map showing the above described property is recorded in Plat Book _____ page _____.

TO HAVE AND TO HOLD the aforesaid lot or parcel of land and all privileges and appurtenances thereto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee, that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons whomsoever, other than the following exceptions:

IN WITNESS WHEREOF, the Grantor has duly executed the foregoing as of the day and year first above written.

By: _____ (Entity Name) Daniel P. Black (SEAL)
 Print/Type Name: Daniel P. Black

By: _____ Mary C. Black (SEAL)
 Print/Type Name: Mary C. Black

By: _____ (SEAL)
 Print/Type Name: _____

By: _____ (SEAL)
 Print/Type Name: _____

State of North Carolina - County or City of Moore

I, the undersigned Notary Public of the County or City of Moore and State aforesaid, certify that Daniel P. Black and wife, Mary C. Black personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this 12 day of October, 2020.

My Commission Expires: 10/29/2020 (Affix Seal) Kimberly Y Arnette NOTARY PUBLIC Montgomery County, NC
Kimberly Y Arnette Notary Public
 Notary's Printed or Typed Name

State of North Carolina - County or City of Moore

I, the undersigned Notary Public of the County or City of Moore and State aforesaid, certify that _____ personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this _____ day of _____, 20____.

My Commission Expires: _____ (Affix Seal) _____ Notary Public
 Notary's Printed or Typed Name

State of _____ - County or City of _____

I, the undersigned Notary Public of the County or City of _____ and State aforesaid, certify that _____ personally came before me this day and acknowledged that _____ he is the _____ of _____, a North Carolina or _____ corporation/limited liability company/general partnership/limited partnership (strike through the inapplicable), and that by authority duly given and as the act of such entity, _____ he signed the foregoing instrument in its name on its behalf as its act and deed. Witness my hand and Notarial stamp or seal, this _____ day of _____, 20____.

My Commission Expires: _____ (Affix Seal) _____ Notary Public
 Notary's Printed or Typed Name

Exhibit "A"

Lying on both side lower prong Little River, and beginning at a stake on the South bank of a Big Ditch, persimmon pointer, McKeithen's corner, and running thence on McKeithen's line North 20 chains to his corner; thence N 6 E 1.71 chains to a pine stump; thence N 87 W 1.42 chains to a stake; thence N 50 W 5 chains to a stake, the 3rd corner of Lot No. 3; thence on said line S. 21.80 chains to a corner, 3 sweetgum pointers; thence S 56 E 7.15 chains to the BEGINNING, containing 13 acres more or less.

HOWEVER, there is excepted from the above described property that certain 1 acre, more or less, tract of land heretofore conveyed by Sylvester Pace and wife, to Sylvester Pace, Jr. by deed recorded in Deed Book 247, Page 173, of the Moore County Public Registry, to which recordation reference is hereby made for a more complete, accurate and particular description of the said 1 acre exception.

The above described land is described as Lot No. 4, allotted to W. H. Goins in that certain Commissioners Report and on that certain Plat recorded in Deed Book 115, Page 413 of the Moore County Public Registry, to which report and plat reference is hereby made.

For Registration Register of Deeds
Judy D. Martin

Moore County, NC

Electronically Recorded

December 30, 2020 3:17:18 PM

Book: 5504 Page: 445 - 453 #Pages: 9

Fee: \$26.00

NC Rev Stamp: \$108.00

Instrument# 2020026059

Stamps: \$

This instrument was prepared by: **Sandhills Law Group**, No Title Examination Requested or Performed by Drafting Attorney

NORTH CAROLINA GENERAL WARRANTY DEED

THIS DEED made this **11th day of December, 2020**, by and between,

<u>GRANTOR</u>	<u>GRANTEE</u>
Lloyd H. Chriscoe, Jr and wife, Patricia R. Chriscoe; Donna C. Cheek and husband, Daryl Cheek; Barbara C. Joyce and husband George Joyce; Larry W. Chriscoe and wife, Jennifer Chriscoe; Kathie C. Lewis and husband Gene Lewis; Sylvia C. Pusser and husband, Nelson Pusser	JT & JR INC. <u>Mailing address:</u> 965 Old US Hwy 1 Southern Pines, NC 28387

WITNESSETH:

That the Grantor, in consideration of the sum of Ten (\$10.00) Dollars and other good and valuable considerations paid by the Grantee, the receipt and sufficiency of which is hereby acknowledged, has given, granted, bargained, sold and conveyed and by these presents does give, grant, bargain, sell and convey to the Grantee, his heirs, successors and assigns, all of that certain tract or parcel of land situate in **Mineral Springs Township, Moore County, North Carolina**, more particularly described as follows:

SEE ATTACHED EXHIBIT "A" FOR A MORE COMPLETE DESCRIPTION

This conveyance is subject to: (i) the Declaration of Restrictions and Covenants, if any, as the same may have been amended: (ii) such matters, provisions and reservations as are shown on the above plat, if any: (iii) the lien for ad valorem

submitted electronically by "Van Camp, Meacham & Newman, PLLC" in compliance with North Carolina statutes governing recordable documents and the terms of the submitter agreement with the Moore County Register of Deeds.

taxes or other assessments for the year of closing or conveyance; and (iv) utility easements of record.

The property hereinabove described is ____ or ☒ is not the primary residence of a Grantor.

TO HAVE AND TO HOLD the aforesaid described land with all privileges and appurtenances thereunto belonging or in anywise appertaining to the said Grantee, his heirs, successors and assigns, in fee simple forever.

And the said Grantor, for himself and his heirs, successors and assigns, covenants with the said Grantee, his heirs, successors and assigns, that he is seized of the said premises in fee and has the right to convey the same in fee simple; that the same is free and clear from all encumbrances; and that he does hereby forever warrant and will forever defend the said title to the same against the claims of all persons whomsoever, except for the exceptions noted herein.

The designation "Grantor" and "Grantee" as used herein shall include the singular as well as the plural and the masculine, feminine or neuter gender may be read in either the masculine, feminine or neuter gender or a combination thereof as the context may require in order to accurately refer to the person or persons first named hereinabove as "Grantor" and "Grantee".

******The remainder of this page was intentionally left blank******

IN WITNESS WHEREOF, the said Grantor has hereunto set his hand and seal, or if Corporate, has caused this instrument to be signed in the Corporate name by its duly authorized officers by authority of its duly elected Board of Directors, or if Limited Liability Company (Company), in its Company name by its duly authorized manager, pursuant to authorization from its members, the day and year first above written.

Barbara C. Joyce (SEAL)
Barbara C. Joyce
George Joyce (SEAL)
George Joyce

STATE OF NORTH CAROLINA

COUNTY OF Moore

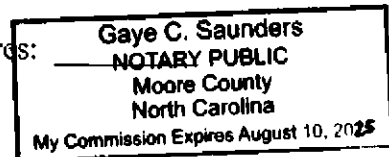
I, Gaye C. Saunders, a Notary Public in and for the County and State aforesaid do hereby certify that **Barbara C. Joyce and George Joyce**, appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and notarial seal this the 18 day of December, 2020.

(NOTARIAL SEAL)

Gaye C. Saunders
NOTARY PUBLIC

My Commission Expires:



IN WITNESS WHEREOF, the said Grantor has hereunto set his hand and seal, or if Corporate, has caused this instrument to be signed in the Corporate name by its duly authorized officers by authority of its duly elected Board of Directors, or if Limited Liability Company (Company), in its Company name by its duly authorized manager, pursuant to authorization from its members, the day and year first above written.

Lloyd H. Chriscoe, Jr. (SEAL)
Lloyd H. Chriscoe, Jr

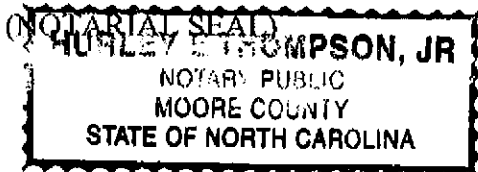
Patricia R. Chriscoe (SEAL)
Patricia R. Chriscoe

STATE OF NORTH CAROLINA

COUNTY OF MOORE

I, [Signature], a Notary Public in and for the County and State aforesaid do hereby certify that **Lloyd H. Chriscoe, Jr and Patricia R. Chriscoe**, appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and notarial seal this the 12th day of December, 2020.



[Signature]
NOTARY PUBLIC
My Commission Expires: 2/18/24

IN WITNESS WHEREOF, the said Grantor has hereunto set his hand and seal, or if Corporate, has caused this instrument to be signed in the Corporate name by its duly authorized officers by authority of its duly elected Board of Directors, or if Limited Liability Company (Company), in its Company name by its duly authorized manager, pursuant to authorization from its members, the day and year first above written.

Sylvia C. Pusser (SEAL)
Sylvia C. Pusser

Nelson Pusser (SEAL)
Nelson Pusser

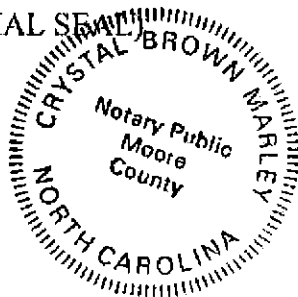
STATE OF NORTH CAROLINA

COUNTY OF MOORE

I, Crystal Brown Marley, a Notary Public in and for the County and State aforesaid do hereby certify that Sylvia C. Pusser and husband, Nelson Pusser, appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and notarial seal this the 17th day of December, 2020.


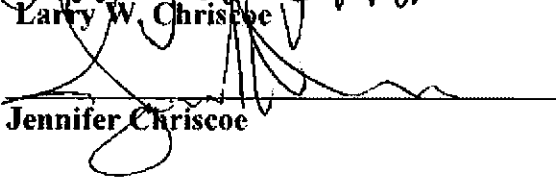
(NOTARIAL SEAL)



Crystal Brown Marley
NOTARY PUBLIC

My Commission Expires: 3/24/24

IN WITNESS WHEREOF, the said Grantor has hereunto set his hand and seal, or if Corporate, has caused this instrument to be signed in the Corporate name by its duly authorized officers by authority of its duly elected Board of Directors, or if Limited Liability Company (Company), in its Company name by its duly authorized manager, pursuant to authorization from its members, the day and year first above written.

 (SEAL)
 Larry W. Chriscoe
 (SEAL)
 Jennifer Chriscoe

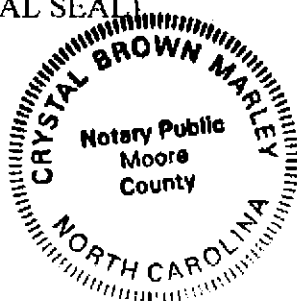
STATE OF NORTH CAROLINA


COUNTY OF MOORE

I, CRYSTAL BROWN MARLEY, a Notary Public in and for the County and State aforesaid do hereby certify that **Larry W. Chriscoe and wife, Jennifer Chriscoe**, appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and notarial seal this the 17th day of December, 2020.

(NOTARIAL SEAL)




 NOTARY PUBLIC

My Commission Expires: 3/21/24

IN WITNESS WHEREOF, the said Grantor has hereunto set his hand and seal, or if Corporate, has caused this instrument to be signed in the Corporate name by its duly authorized officers by authority of its duly elected Board of Directors, or if Limited Liability Company (Company), in its Company name by its duly authorized manager, pursuant to authorization from its members, the day and year first above written.

Kathie C. Lewis (SEAL)

Kathie C. Lewis

Gene Lewis (SEAL)

Gene Lewis

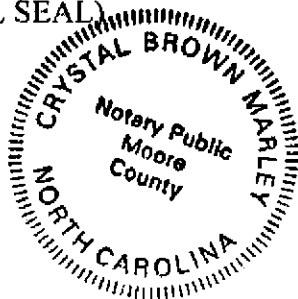
STATE OF NORTH CAROLINA

COUNTY OF MOORE

I, CRYSTAL BROWN MARLEY, a Notary Public in and for the County and State aforesaid do hereby certify that **Kathie C. Lewis and husband, Gene Lewis**, appeared before me this day and acknowledged the due execution of the foregoing instrument.

Witness my hand and notarial seal this the 17th day of December, 2020.

(NOTARIAL SEAL)



Crystal Brown Marley
NOTARY PUBLIC

My Commission Expires:

3/21/24

EXHIBIT "A"**TRACT ONE:**

Being in Mineral Springs Township, Moore County, North Carolina and situate on the east side of US 15-501 and on both sides of Nicks Creek and mor particularly described as follows:

Beginning at an iron pipe, the same being common with the Saddler land; thence South 57 degrees 28.3 minutes East 411.61 feet to an iron rod on the south bank of the "Big Ditch", the same being common with the Down and Goins lands; thence North 81 degrees 29.8 minutes West 117.350 feet with the Goins line and the "Big Ditch" to an iron rod in the center of the "Big Ditch", the same being common with the Goins land; thence South 86 degrees 57.1 minutes West 71.88 feet with the Goins line and the "Big Ditch" to an iron rod in the center of the "Big Ditch" the same being common ith the Goins land; thence South 79 degrees 40.0 minutes West 107.77 feet with the Goins line and the "Big Ditch" to an iron rod in the center of the "Big Ditch" the same being common with the Goins land; thence South 80 degrees 15.5 minutes West 112.56 feet with the Goins line and the "Big Ditch" to an iron rod in the center of the "Big Ditch" the same being common with the Goins land; thence South 73 degrees 40.0 minutes West 161.46 feet with the Goins and the "Big Ditch" to a point, the center line junction of the "Big Ditch" and Nicks Creek, the same being common with the Maness and Goins lands; thence South 59 degrees 15.4 minutes West 155.63 feet with the Maness line in Nicks Creek to a point, a new corner in the center line of Nicks Creek, 48.0 feet from and normal to the center line of US 15.-501, the same being common with the Maness land and in the right of way boundary of US 15.501; thence North 15 degrees 00.3 minutes East 518.77 feet with the right of way boundary of US 15-501 to an iron rod, a new corner, 48.0 feet from and normal to the center line of US 15-501, the same being in the Saddler line and in the right of way boundary of US 15-501; thence South 58 degrees 31.6 minutes East 248.91 feet with the Saddler line to the beginning, containing 3.08 acres, more or less as computed by the Double Meridian Distance Method. For further reference see Book 2421, Page 222.

TRACT TWO:

Being Lot No. 3 of Ed Goins Division: Beginning at an iron stake the southeast corner of Lot No. 3 of which this is a part and also being the dividing corner between Lots No. 3 and 4 of the Goins Division; and runs thence with the southerly line of Lot No. 3 North 54-00 West 250 feet to an iron stake 50 feet from the center

line of US Highway 15-501; and runs thence along the easterly right of way line of the Highway 50 feet from and parallel with the center line North 20-00 East 610 feet to an iron stake in the easterly right of way 50 feet from the present center line; and runs thence South 2-00 West and with the dividing line between Lots 3 and 4, 713 feet to the beginning, containing two (2) acres. For further reference see Book 352, Page 262.